



Planning & Development Services

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MEMORANDUM

TO: Design Review Committee

FROM: Sarah Schafer / Manager, Design Review and Historic Preservation

DATE: April 30, 2012

RE: DRH11-00240 / 8th & Main – Tommy Ahlquist / 800 West Main

The Design Review Committee required the applicant to come back for review at 50% Construction Documents to ensure the design of the structure is in keeping with the original approval as it is understood when engineering and estimating the cost for a building, changes occur. As expected there have been changes which have occurred due to costs of materials, acquisition of tenants and structural requirements.

- Transition between first and second floor

The transition between the first and second floor has gone from 4' of structure to a 7' to 8' structural piece causing the lower two levels to look heavier and not have the transparency seen in the original submittal. Staff suggests additional glazing be reintroduced to allow for a lighter base.



Figure 1 Ground Floor Original

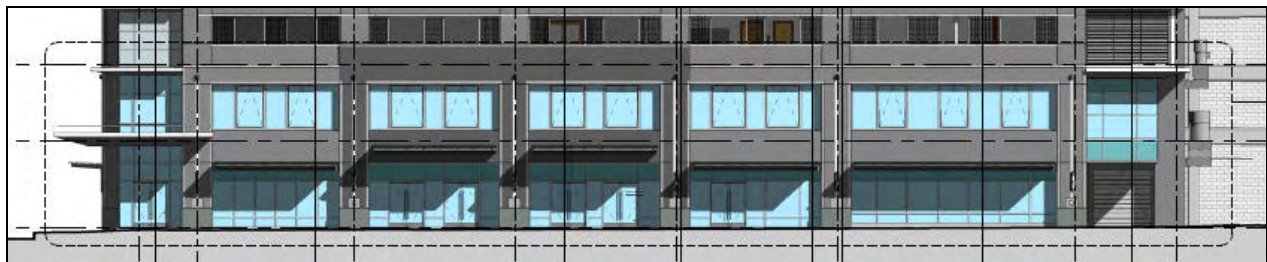


Figure 2 Ground Floor Construction Document

- **Second floor balcony (East Elevation)**

The balcony or patio area originally shown on the design review plans were always conceptual and could change once tenants are selected. As part of the construction documents, the space has been enclosed, bringing storefront out to the face of the structure on the second floor. Currently shown in the documents are two operable awning windows per bay. Staff suggests a different window system utilizing a retractable wall system (horizontal) versus individual awning windows would be appropriate and provide more glazing and open air desired by the city to connect the second floor use to the street.

- **Second floor canopy**

The canopies on the second floor on both the east and south elevations have been removed. The glazing on the second floor is setback from the granite finish approximately 14" which will provide some shadow relief at the openings. The depth of the canopies originally reviewed is unknown.

- **Overhead doors versus iron gate**

At the service area there was originally an metal gate proposed for blocking off of the area. There is now an overhead door shown which will be recessed from the street frontage for a full bay. The overhead door will be more conducive to keeping scents and sounds blocked from the pedestrians than the metal gate would.

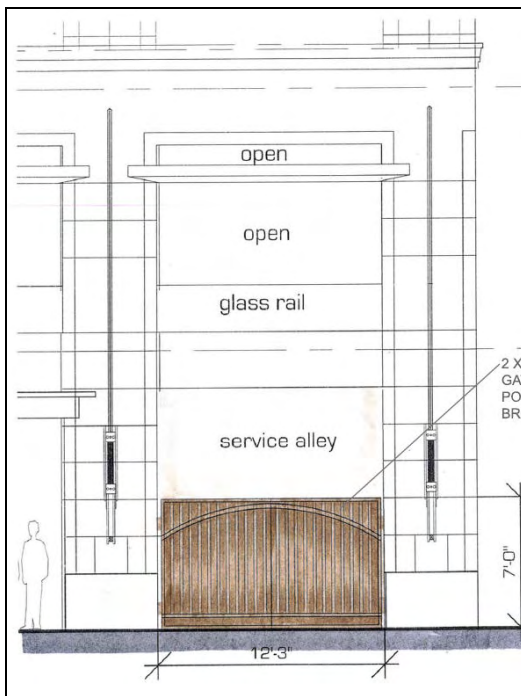


Figure 3 Original service alley

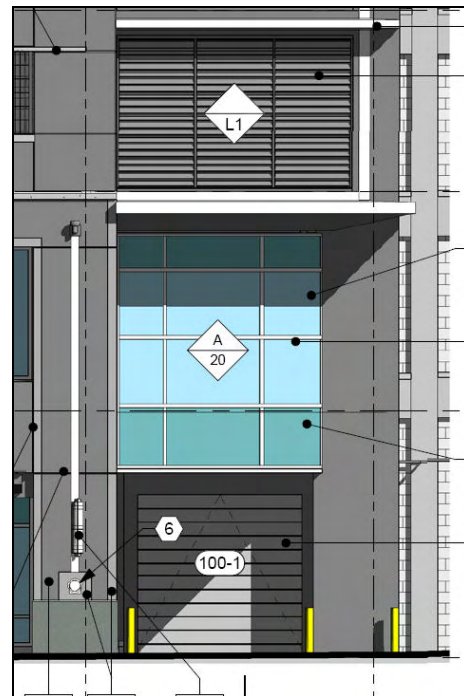


Figure 4 New service alley

- **Change to garage levels**

The change to the design of the garage levels has changed slightly. The opening size, orientation and the material detailing at these levels remains the same except for the removal of the metal mesh or screen over the openings. The removal of the metal mesh has been replaced with glass at the fourth floor parking level to screen the vehicles. Though a formal drawing hasn't been submitted at this time the one concern staff has with

the change is the exposure of the fireproofing for the steel structure. On past applications the Design Review Committee and City Council have required the spray on fireproofing not be visible from the public right-of-way and the main pedestrian areas. In this particular situation, staff would recommend the first beam or two visible from the public right-of-way be protected with some other kind of fire protection (intumescent paint, concrete, etc.)



Figure 5 New Parking Levels

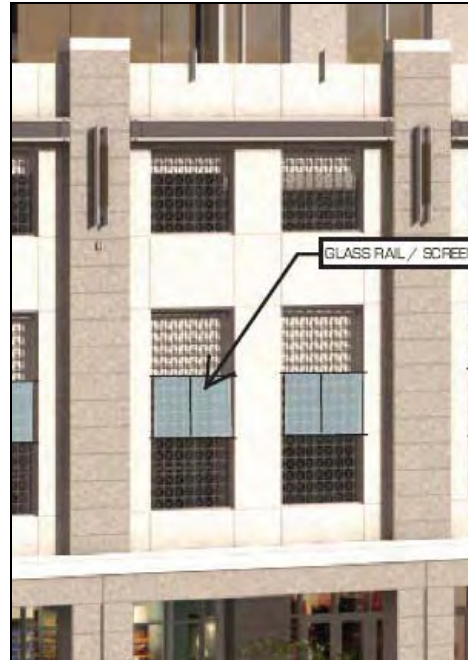


Figure 6 Original Parking Levels

- **Building top**

The top of the structure has changed from the previous design with the tall floor to ceiling windows, light and dark EIFS and the gable roof with antenna to a design with an extension of the glass curtain wall system at the southeast corner and a mechanical screen which is more than doubled in height. In addition, the dimensions of the windows in the penthouse changed from 8' x 17' to 10' x 15' which deemphasizes the vertical nature of the building. Staff suggests changes take place at the top of the structure, that the mechanical screen be diminished in some way through use of spandrel glass so it appears there is another floor on the building, additional detail to the penthouse portion of the structure raising the parapet and thus hiding some of the screen, or other methods.



Figure 7 Original Building Top

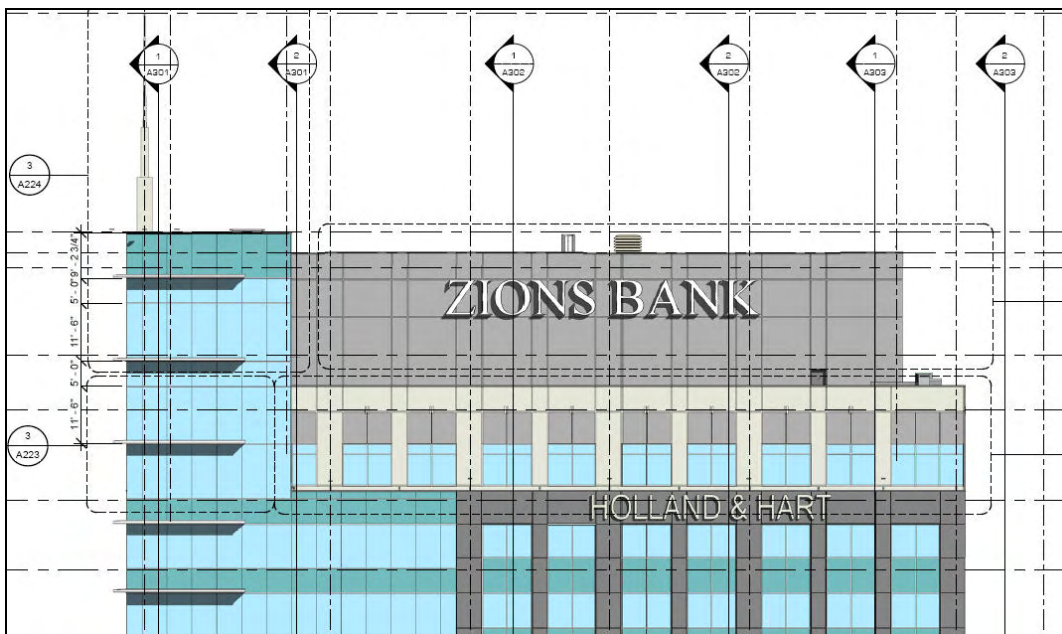


Figure 8 Proposed Building Top

To: Design Review Committee
From: Babcock Design Group
Date: May 1st, 2012
Re: DRH11-00240 / 8th & Main – Tommy Ahlquist / 800 West Main

Design team review / response:

Item 1: Transition between first and second floor:

We are going to revise the pivot / awning window system to a Kawneer type slider system that will stack against the column and create a larger opening. We are also going to lower the sill height from 2'-0" to 6", possibly flush with the floor of level 2. This will increase the "open" area as well as the glass on level 2. This will also reduce the amount of granite between levels 1 & 2 as requested.

Item 2: Change to Garage Levels:

We are revising the plans to get us back closer to the original design. The updated plans will reflect the image sent you earlier, with glass at level 4 and no mesh in the openings. We discussed the underside of the parking and the visual concern the city has. The underside of the deck will be painted to make this area presentable. I have asked Jason with CTA to get you a photo or description of how this will look.

Item 3: Building Top:

As you mentioned and understand the requirements of the mechanical penthouse are driven by the building. Unfortunately it has to be this size for the building to function properly. However, we appreciate your input and concern with regard to the verticality. A more vertical feel can be achieved thru emphasizing the vertical columns on levels 16 and the penthouse. We will achieve this thru raising the parapet 2'-0" on level 16, introducing color on recessed panels (at the Penthouse level) and adding relief on the vertical elements. Also as a note an additional floor has been added to the tower portion of the building, increasing the building height from 16-story, to a 17 story design. This will help lighten the upper portion of the building.

Regards,



Babcock Design Group
Principal, AIA, NCARB, LEED ap

ARTISTS RENDERING

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HORROCKS ENGINEERS
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CONTACT: ROB SUNDERLAGE
PHONE: (801) 319-7388

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MATERIALS TESTING & INSPECTION
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CONTACT: DAVID CRAM
PHONE: (208) 890-5364
FAX: (208) 322-6515

G101



2 PERSPECTIVE STREET VIEW
G102



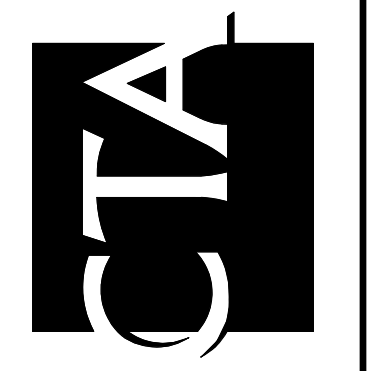
1 PERSPECTIVE VIEW

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8TH AND MAIN TOWER
CORE AND SHELL
BOISE, IDAHO 83702

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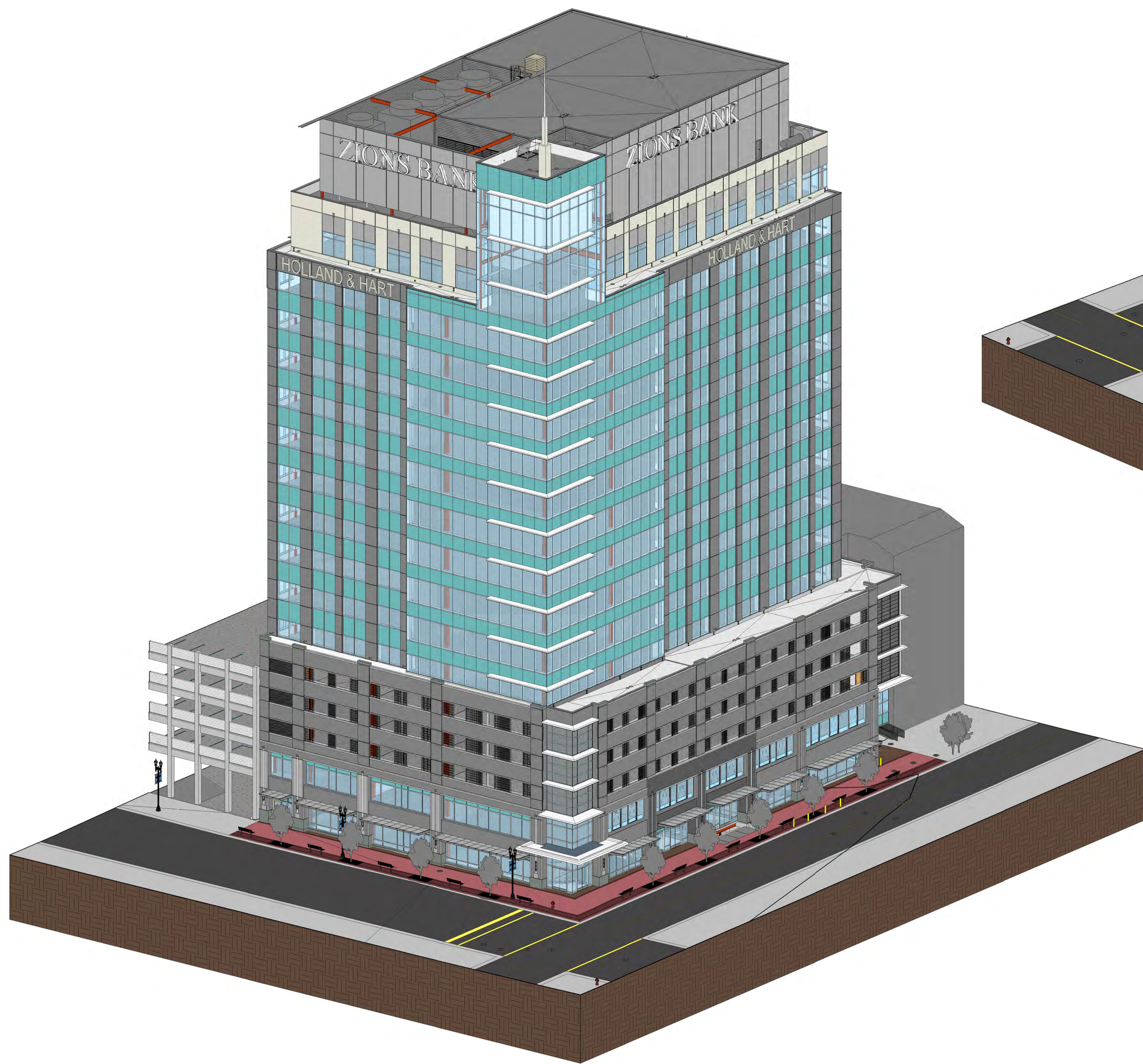
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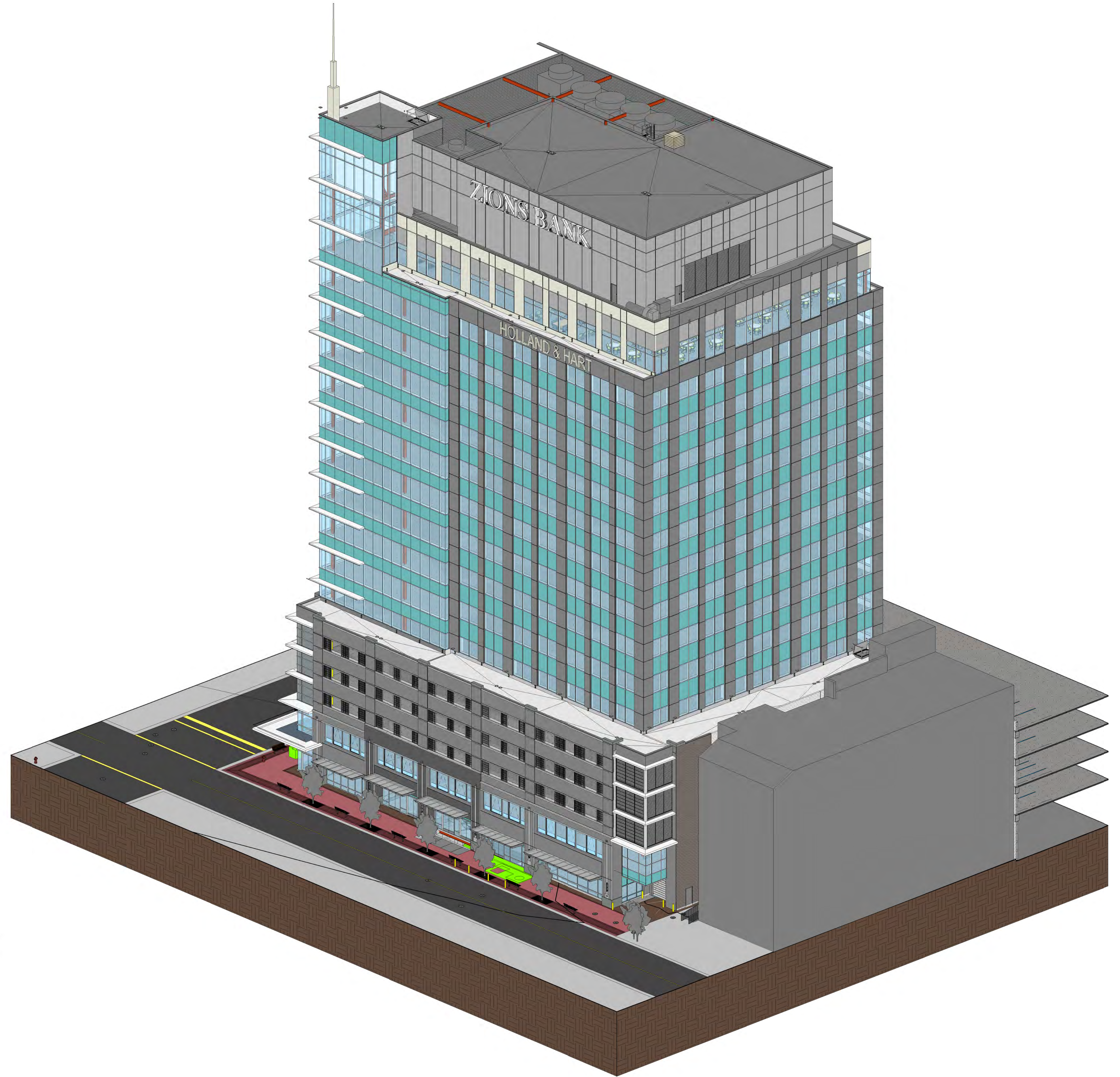
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3D MODEL
VIEWS

SHEET
G102



1 SE CORNER 3D VIEW



2 NE CORNER 3D VIEW

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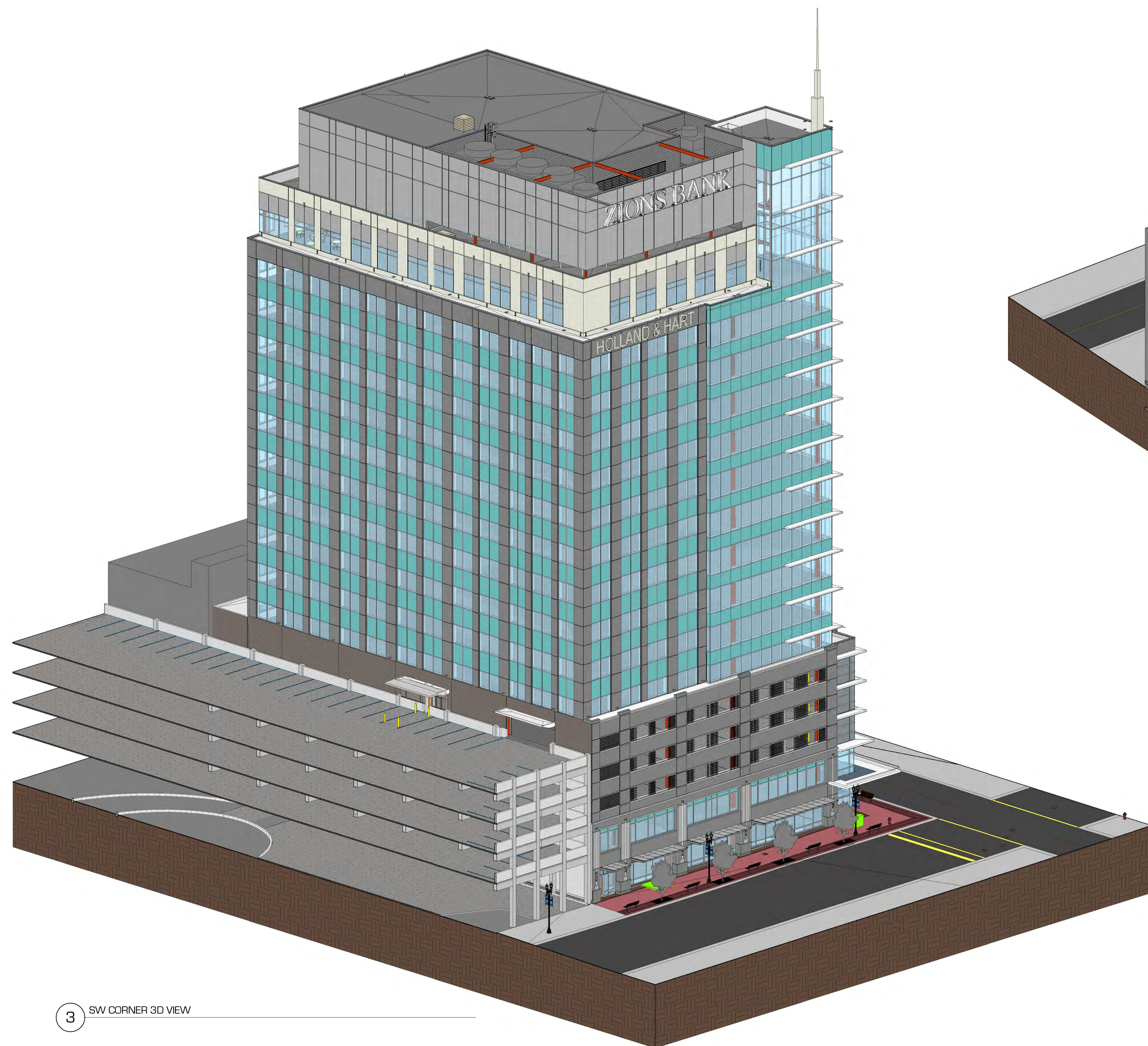


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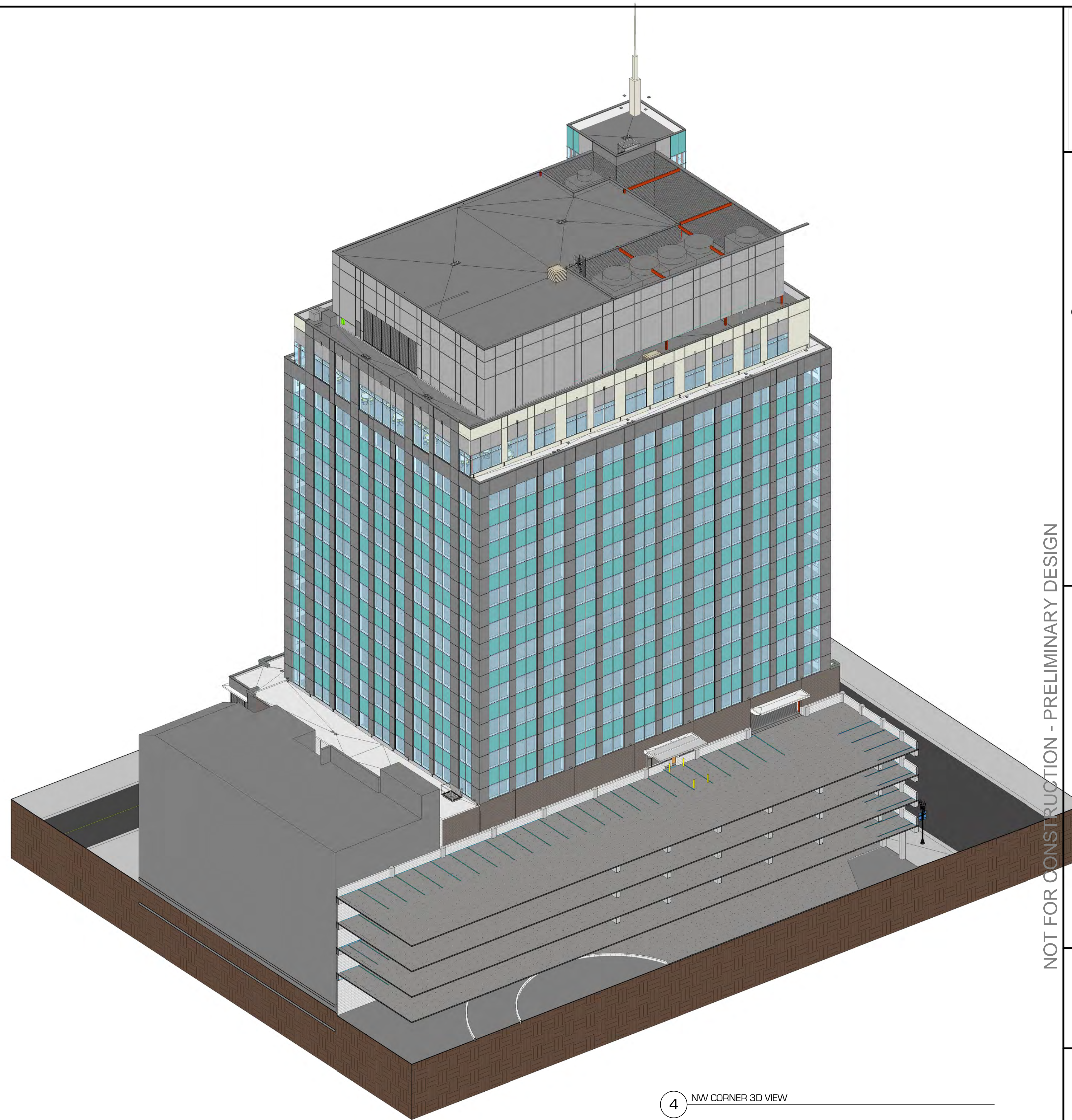
3D MODEL
VIEWS

SHEET

G103



3 SW CORNER 3D VIEW



4 NW CORNER 3D VIEW

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REVISIONS

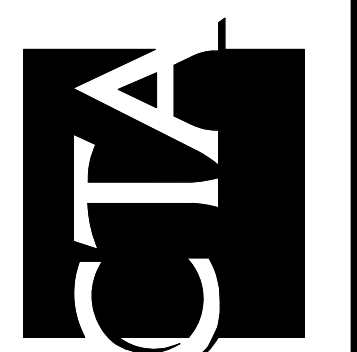
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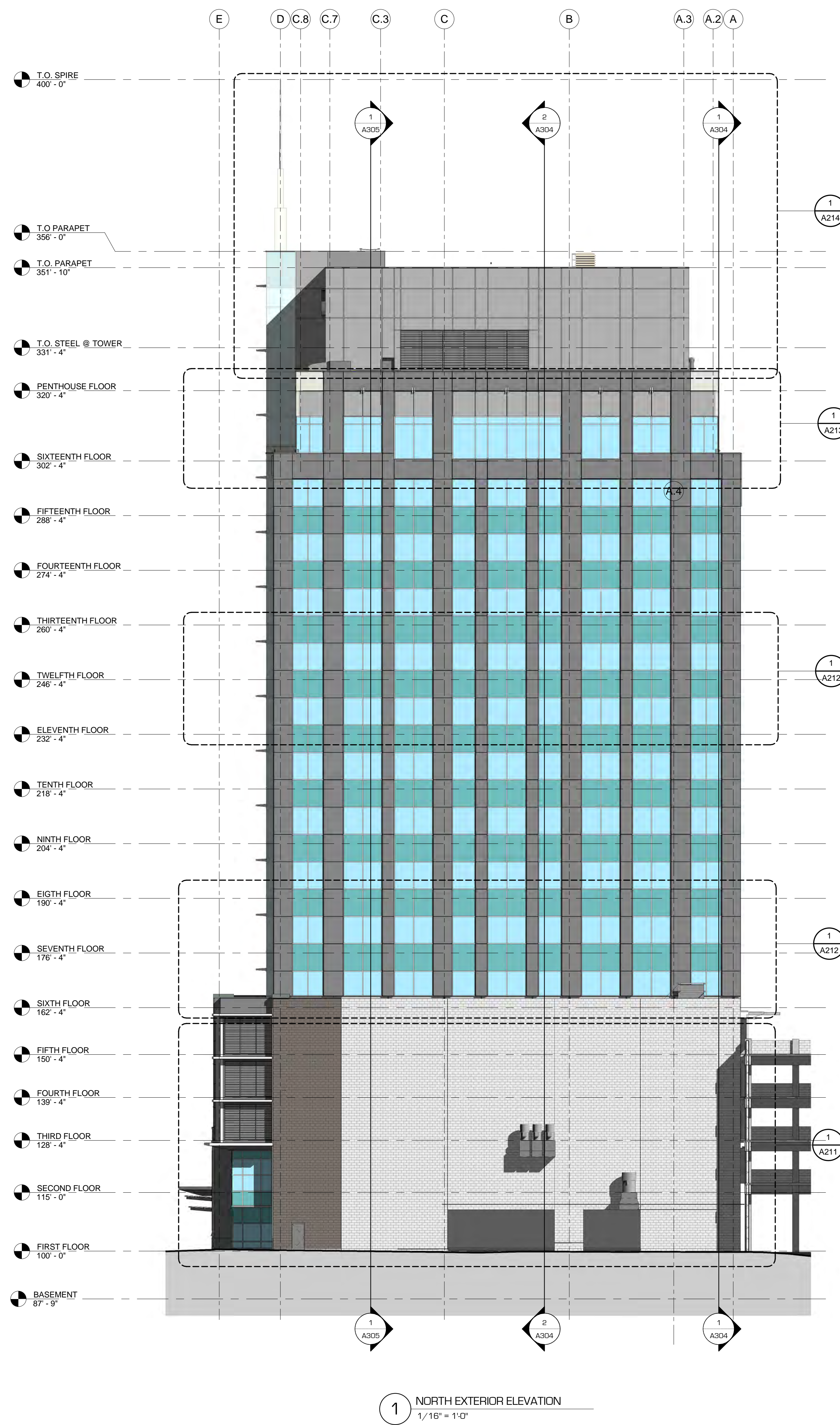
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3D MODEL
VIEWS

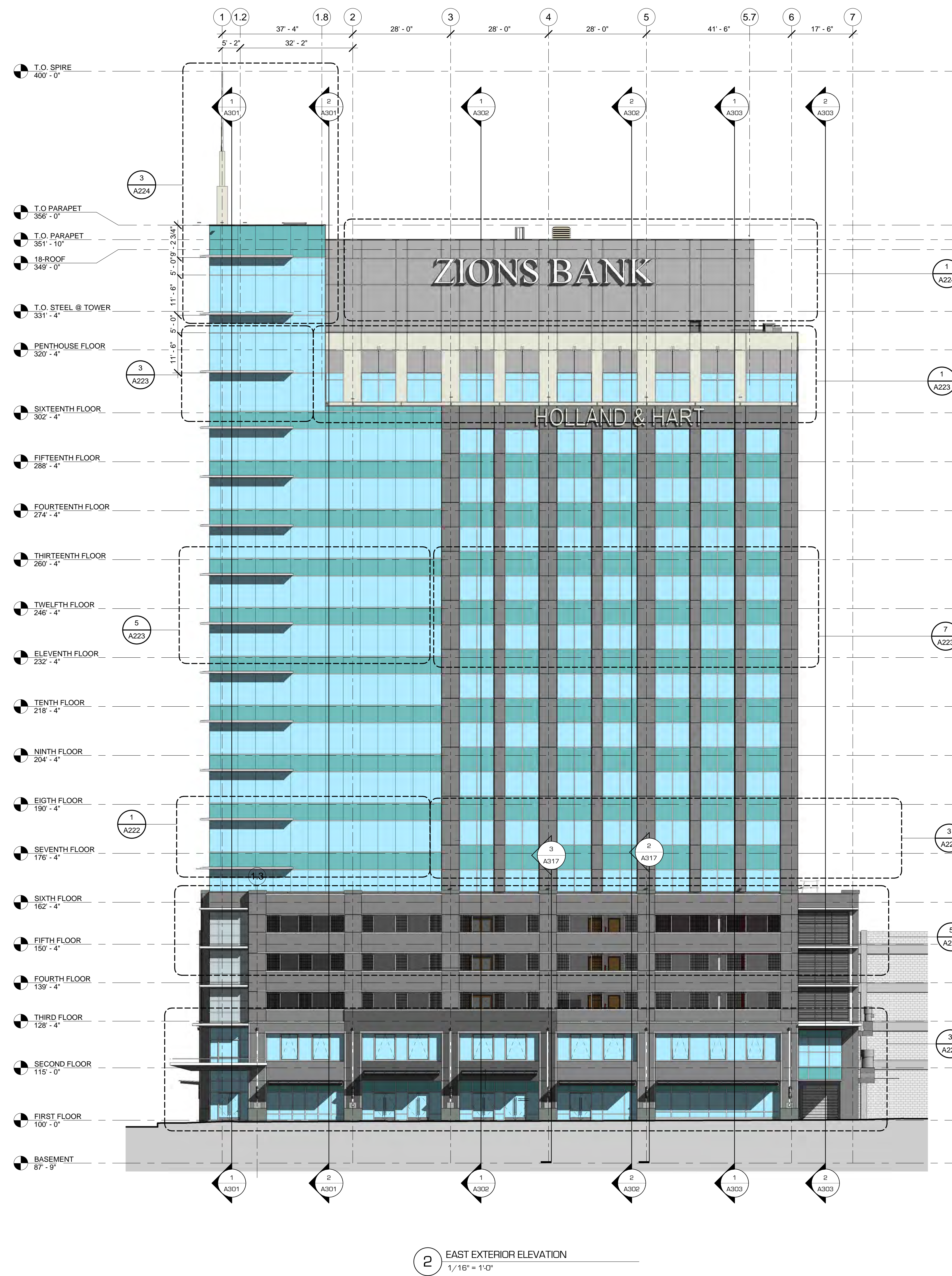
SHEET

G104

C:\Users\jgibson\Documents\Projects\8th and Main Tower\8th and Main Tower - Shell.dwg (2/2/2012)



1 NORTH EXTERIOR ELEVATION
1/16" = 1'-0"



2 EAST EXTERIOR ELEVATION
1/16" = 1'-0"

PARKING LEVEL OPEN SPACE CALCULATIONS PER FLOOR	
TOTAL LF OF BUILDING PERIMETER ON EACH PARKING LEVEL	= 645 LF
TOTAL LF REQUIRED BY CODE PER PARKING LEVEL	= 40%
	= 645' x 40
	= 258 LF
TOTAL LF OF OPEN SPACE PROVIDED ON EACH LEVEL	= 215.5 LF
	= 33.4%
(83.5% OF AMOUNT REQUIRED BY CODE)	
TOTAL WALL SURFACE AREA ON EACH PARKING LEVEL	= 7,095 SF
TOTAL OPEN WALL SURFACE AREA REQUIRED BY CODE	= 20%
	= 7,095' x 20
	= 1,419 SF
TOTAL OPEN SPACE PROVIDED EACH ON PARKING LEVEL	= 1,078 SF
	= 15.19%
(75.9% OF AMOUNT REQUIRED BY CODE)	

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TOTAL LF OF BUILDING PERIMETER ON EACH PARKING LEVEL	= 645 LF
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(58.3% OF AMOUNT REQUIRED BY CODE)	
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TOTAL OPEN WALL SURFACE AREA REQUIRED BY CODE	= 20%
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TOTAL OPEN SPACE PROVIDED EACH ON PARKING LEVEL	= 753 SF
	= 10.61%
(53.3% OF AMOUNT REQUIRED BY CODE)	

EXTERIOR MATERIALS/FINISHES LEGEND											
AL-1 ALUMINUM STOREFRONT SYSTEM, COLOR AS SELECTED SEE WINDOW/DOOR SCHEDULES, DETAILS & SPECIFICATIONS.	DR-1 HOLLOW METAL DOOR AND FRAME, PAINTED SEE DOOR SCHEDULE, DETAILS & SPECIFICATIONS.	EF-1 EXTERIOR INSULATION FINISH SYSTEM (EIFS) COLOR #1 AS SELECTED	GC-1 EXTERIOR 3-CM GRANITE CLADDING ON STAINLESS STEEL CLIPS, COLOR #1 AS SELECTED, SEE STRUCTURAL DRAWINGS, DETAILS & SPECIFICATIONS.	GL-1 INSULATED VISION GLAZING, COLOR AS SELECTED, SEE WINDOW SCHEDULE, DETAILS & SPECIFICATIONS.	GP-1 GFRC PANEL WITH INTEGRAL INSULATION AND SUPPORT FRAMEWORK, COLOR AS SELECTED, SEE GFRC SCHEDULE, DETAILS & SPECIFICATIONS.	ME-1 MECHANICAL EXHAUST VENT, SEE MECHANICAL DRAWINGS	MS-1 FULLY GROUTED CMU WALL, COLOR AS SELECTED SEE STRUCTURAL DRAWINGS, DETAILS & SPECIFICATIONS.	PC-1 COLORED PRE-CAST CONCRETE WANDSOT PANEL, COLOR AS SELECTED SEE SCHEDULE, DETAILS & SPECIFICATIONS.	ST-1 PAINTED STEEL TUBE PER STRUCTURAL, COLOR AS SELECTED		
AL-2 ALUMINUM CURTAIN WALL SYSTEM, COLOR AS SELECTED SEE SCHEDULE, DETAILS & SPECIFICATIONS.	DR-2 STAINLESS STEEL, COLOR AND FRAME SEE DOOR SCHEDULE, DETAILS & SPECIFICATIONS.	EF-2 EXTERIOR INSULATION FINISH SYSTEM (EIFS) COLOR #2 AS SELECTED	GC-2 EXTERIOR 3-CM GRANITE CLADDING ON STAINLESS STEEL CLIPS, COLOR AS SELECTED, SEE STRUCTURAL DRAWINGS, DETAILS & SPECIFICATIONS.	GL-2 RELATED SPANNING GLAZING, COLOR AS SELECTED, SEE WINDOW SCHEDULE, DETAILS & SPECIFICATIONS.	GP-2 GFRC PANEL JOINT REINFORCEMENT, SEE ENLARGED DETAILS AND DETAILS	ME-2 MECHANICAL LOUVER, COLOR AS SELECTED, SEE MECHANICAL DRAWINGS, DETAILS & SPECIFICATIONS.	MS-2 FULLY GROUTED INTEGRAL COLOR CMU WALL, COLOR AS SELECTED SEE STRUCTURAL DRAWINGS, DETAILS & SPECIFICATIONS.	PC-2 PRE-CAST CONCRETE SPANDREL PANEL, COLOR AS SELECTED SEE SCHEDULE, DETAILS & SPECIFICATIONS.	ST-2 ARCHITECTURAL BUILDING SPIRE, SEE DETAILS, COORDINATE WITH STRUCTURAL AND ELECTRICAL DRAWINGS.		
AL-3 ALUMINUM STOREFRONT SYSTEM WITH OPERABLE WINDOWS, COLOR AS SELECTED SEE DOOR SCHEDULE, DETAILS & SPECIFICATIONS.	DR-3 ROOF ACCESS DOOR IN CURTAIN WALL SYSTEM, SEE ENLARGED PLUMB ELEVATIONS, DOOR SCHEDULE DETAILS & SPECIFICATIONS.	EF-3 EXTERIOR INSULATION FINISH SYSTEM (EIFS) REVEAL, SEE DETAILS	GC-3 3A VERTICAL EXTERIOR CLADDING JOINT FILLED WITH COMPRESSIBLE CAULKING, SEE DETAILS	GL-3 GLASS RAILING WITH PRE-FINISHED ALUMINUM SHOE, COLOR AS SELECTED, SEE SECTIONS, DETAILS & SPECIFICATIONS.	LF-1 EXTERIOR LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS	ME-3 SURFACE APPLIED DECORATIVE MECHANICAL LOUVER, COLOR AS SELECTED, SEE DETAILS	MS-3 MASONRY CONTROL JOINT, SEE DETAILS AND STRUCTURAL DRAWINGS	PC-3 PRE-CAST CONCRETE CAP SEE DETAILS FOR PROFILE AND DIMENSIONS	ST-3 STAINLESS STEEL METAL MESH FABRIC ON PRE-ENGINEERED ATTACHMENT SYSTEM, COLOR AND MESH PATTERN AS SELECTED, SEE DETAILS		
AL-4 OPEN-CORED ALUMINUM CURTAIN WALL SYSTEM, COLOR AS SELECTED SEE WINDOW SCHEDULE & SPECIFICATIONS.	DR-4 ROOF HATCH, SEE PLANS FOR SIZE AND LOCATION, SCHEDULES, DETAILS & SPECIFICATIONS.		GC-4 3A HORIZONTAL EXTERIOR CLADDING JOINT FILLED, SEE DETAILS			ME-4 PRE-FINISHED DECORATIVE DOWNSPOUT NOZZLE, COLOR AS SELECTED, SEE MECHANICAL DRAWINGS			ST-4 PAINTED KNIFE PLATE EXTENSION, ROD AND CLEVIS FOR CANOPY SUPPORT, SEE DETAILS, PAINT COLOR AS SELECTED		
AL-5 PRE-FINISHED ALUMINUM PARAPET CAP, FINISHING COLOR AS SELECTED									ST-5 ARCHITECTURAL CANOPY, SEE DETAILS, PAINT COLOR AS SELECTED WHERE APPLICABLE		
AL-6 1/2" ALUMINUM PLATE ARCHITECTURE FINI WITH TYPICAL FINISH, COLOR AS SELECTED - SEE DETAILS FOR PROFILE AND SIZE									ST-6 BUILDING SIGNAGE BY OTHERS, SEE WALL SECTIONS AND STRUCTURAL DETAILS FOR SUPPORT FRAMING		
									ST-7 PAINTED METAL ARCHITECTURAL FEATURE, SEE DETAILS, PAINT COLOR AS SELECTED		

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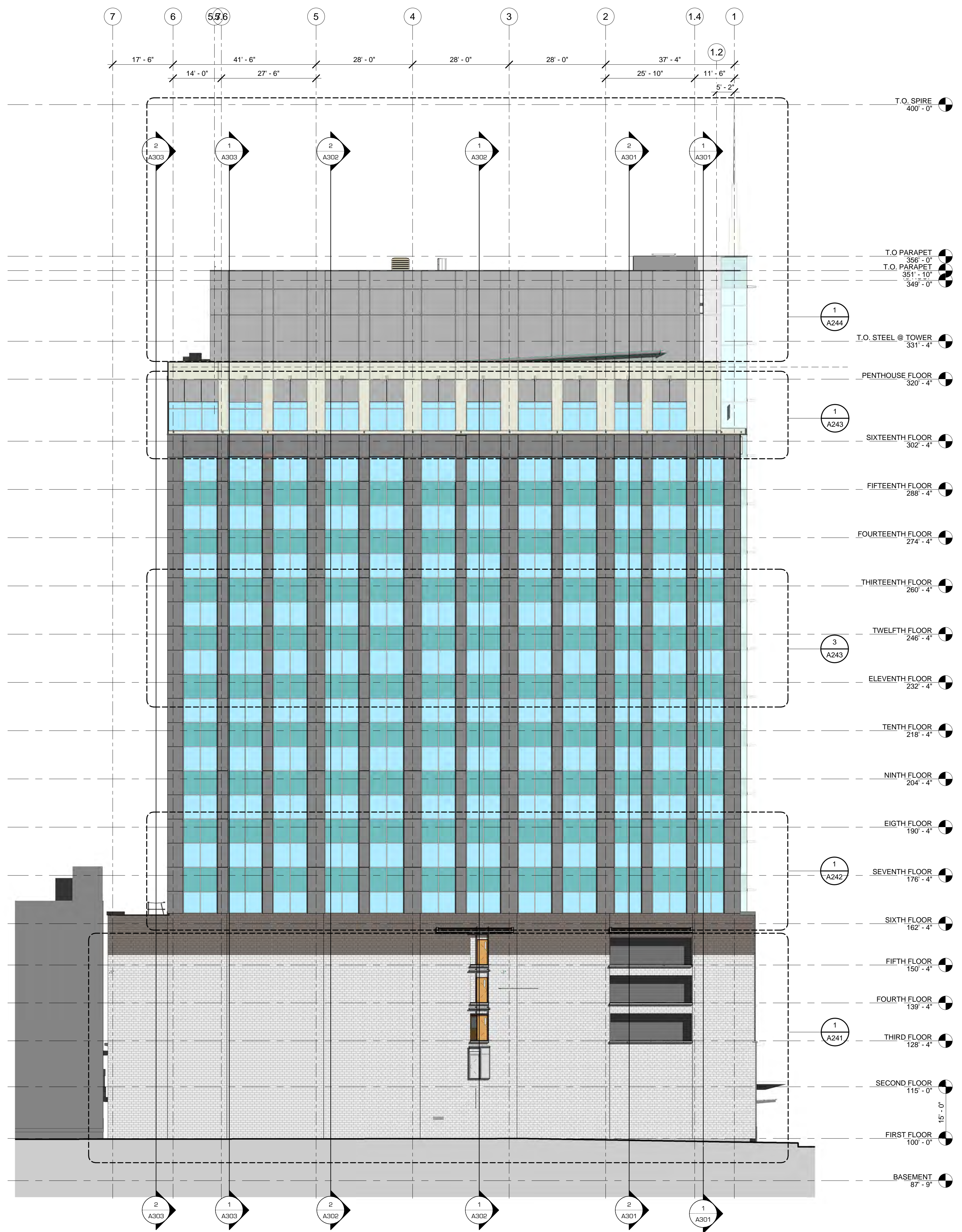
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EXTERIOR
BUILDING
ELEVATIONS

SHEET
A201



1 SOUTH EXTERIOR ELEVATION
1/16" = 1'-0"



2 WEST EXTERIOR ELEVATION
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EXTERIOR MATERIALS/FINISHES LEGEND											
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									ST-7 PAINTED METAL ARCHITECTURAL FEATURE, SEE DETAILS, PAINT COLOR AS SELECTED		

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CORE AND SHELL

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EXTERIOR
BUILDING
ELEVATIONS

SHEET
A202

WALL SECTION LEGEND

1. PROPERLY PREPARED SUB GRADE OR ENGINEERED FILL. SEE SOIL REPORT
2. EXTERIOR CONCRETE SLAB / SIDEWALK (SLOPE AWAY FROM BLDG.) SEE CIVIL
3. CONTINUOUS R-7.5 RIGID INSULATION
4. VAPOR BARRIER, SEE SPECIFICATIONS
5. REINFORCED CONCRETE FOOTING AND FOUNDATION. SEE STRUCTURAL
6. EXIST. CONC. FOOTING, SEE STRUCT.
7. EXIST. CONC. WALL, SEE STRUCT.
8. CONCRETE MAT SLAB, SEE STRUCT.
9. CONCRETE SLAB ON 4" GRAVEL BASE, SEE STRUCTURAL
10. PREFINISHED METAL FLASHING
11. CONT. BACKER ROD AND SEALANT AS REQ.
12. GLAZING SYSTEM AS SCHEDULED (TYP.)
13. SPANDREL GLAZING PANEL
14. ALUMINUM STOREFRONT WINDOW SYSTEM
15. UNITIZED ALUMINUM CURTAIN WALL SYSTEM, SEE DETAILS
16. ALUMINUM STOOL EXTENSION @ SILL MULLION TO RECEIVE GYP. BD.
17. HEADER - SEE STRUCTURAL
18. DOOR AND FRAME AS SCHEDULED (TYP.)
19. PREFINISHED COILING METAL DOOR
20. EXISTING WALL ADJACENT BUILDING
21. WALL BASE AS SCHEDULED
22. 6" METAL STUDS, SEE STRUCTURAL FOR GAUGE SPACING
23. 3 5/8" METAL STUDS, SEE STRUCTURAL FOR GAUGE SPACING
24. WALL FURRING CHANNELS @ 24" O.C.
25. R-13 BATT INSULATION
26. R-19 BATT INSULATION
27. VAPOR BARRIER
28. 5/8" GYPSUM BOARD (PAINTED). USE WATER RESISTIVE GYPSUM BOARD AT WET WALLS (TYP.)
29. 5/8" GYPSUM BOARD BY OTHERS
30. 3 CM GRANITE CLADDING
31. STAINLESS STEEL METAL MESH FABRIC ON PRE ENGINEERED ATTACHMENT SYSTEM. SEE ELEVATIONS AND DETAILS
32. REVEAL. SEE DETAILS
33. METAL FEATURE. SEE DETAIL
34. 6" REINFORCED CMU WALL. SEE STRUCTURAL
35. 8" REINFORCED CMU WALL. SEE STRUCTURAL
36. GFRG PANEL, SEE ELEVATIONS AND DETAILS
37. MOISTURE BARRIER OVER EXTERIOR SHEATHING
38. 1" AIR SPACE
39. 2" AIR SPACE
40. ARCHITECTURAL GRANITE STONE VENEER W/ STONE CAP
41. 1-1/2" EIFS EXTERIOR FINISH SYSTEM
42. EIFS FEATURE OR TRIM
43. PRE-CAST CONCRETE SPANDREL PANEL
44. PRE-CAST CONCRETE CAP
45. PRE-CAST CONCRETE WAINSCOT PANEL
46. REGLET AND FLASHING
47. MECHANICAL GRILLE OR LOUVER, SEE MECH. DRAWINGS AND ELEVATIONS
48. EXTERIOR METAL PANEL SYSTEM
49. CONCRETE COLUMN BEYOND
50. CONCRETE COLUMN - SEE STRUCTURAL
51. STEEL COLUMN - SEE STRUCTURAL
52. STEEL BEAM - SEE STRUCTURAL
53. PAINTED EXTERIOR STEEL BEAM - SEE STRUCTURAL
54. PROVIDE BRACING & SUPPORT AS REQ.
55. METAL STUD BRACING AS REQ'D
56. CANOPY - SEE DETAIL
57. RAILING. SEE DETAILS
58. FLOOR JOIST - SEE STRUCTURAL
59. CONCRETE ON METAL DECK, SEE STRUCT.
60. 3/4" GYPSUM BOARD SUB-FLOORING
61. SLAB EDGE STUD CLIP
62. 4" CONCRETE TOPPING SLAB, SEE STRUCTURAL
63. FIRE SAFING @ PERIMETER
64. TREATED WOOD FIRE BLOCKING
65. CEILING AS SCHEDULED. SEE REFLECTED CEILING PLANS
66. CEILING BY OTHERS
67. METAL STUD SOFFIT FRAMING @ 16 O.C. AS REQUIRED
68. PROVIDE SOLID BLOCKING AS REQ.
69. STEEL ROOF JOIST - SEE STRUCTURAL
70. METAL ROOF DECK - SEE STRUCTURAL
71. R-38 RIGID ROOF INSULATION
72. TAPERED RIGID INSULATION
73. SINGLE-PLY ROOF MEMBRANE. RUN CONTINUOUS UP OVER TOP OF PARAPET UNDER CAP FLASHING
74. CANT STRIP
75. MEMBRANE ROOF FLASHING
76. PREFINISHED METAL ROOF FLASHING W/ DRIP EDGE
77. FOAM CLOSURE SET IN CONT. SEALANT
78. PREFINISHED METAL CAP FLASHING W/ ATTACHMENT CLIPS AT BOTH SIDES ON SLOPED FIRE RESISTANT MAILER. SLOPE 1/4" PER FT. TOWARDS ROOF. FLASHING TO HAVE INTERLOCKING STANDING SEAM JOINTS - NO LAP JOINTS
79. ROOF DRAINS - SEE MECHANICAL/PLUMBING
80. 1/8" ALUMINUM PLATE FASCIA WITH KYNAR FINISH. COLOR TO BE SELECTED FROM MFG. FULL RANGE
81. 1/8" ALUMINUM PLATE SOFFIT WITH KYNAR FINISH. COLOR TO BE SELECTED FROM MFG. FULL RANGE
82. ROOF HATCH, SEE DETAILS
83. ROOF DAVIT / WALL ANCHOR W/ SAFETY CABLE
84. SIGNAGE BY OTHERS
85. STEEL SUPPORT SIGNAGE, SEE DETAILS
86. 1/8" ALUMINUM PLATE ARCHITECTURAL FIN INTEGRATED INTO CURTAIN WALL SYSTEM, SEE DETAILS
87. LIGHT FIXTURE, SEE ELECTRICAL
88. CONCRETE CURB, SEE DETAILS AND STRUCTURAL

REVISIONS

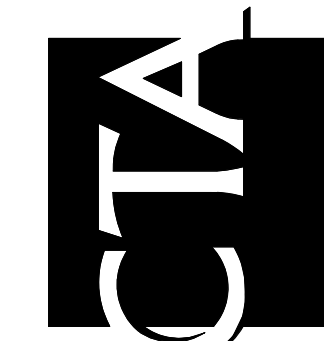
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CORE AND SHELL

BOISE, IDAHO 83702

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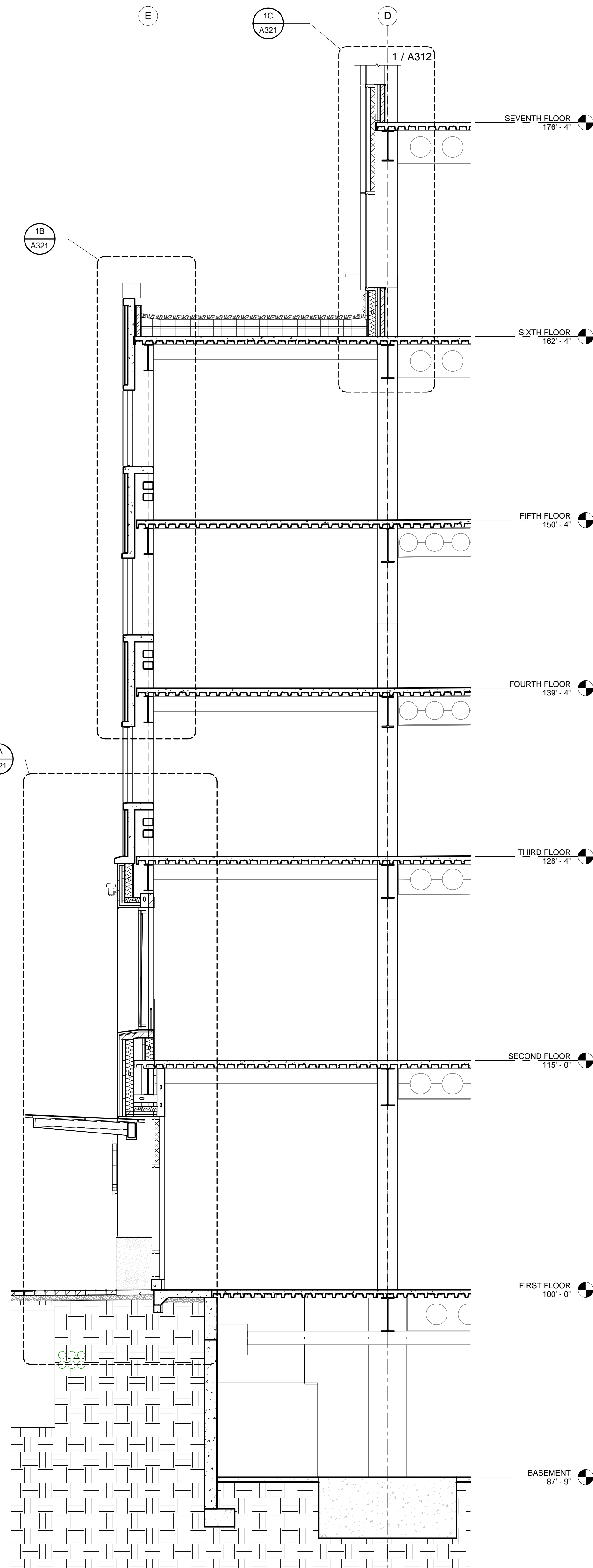
WALL
SECTIONS

SHEET

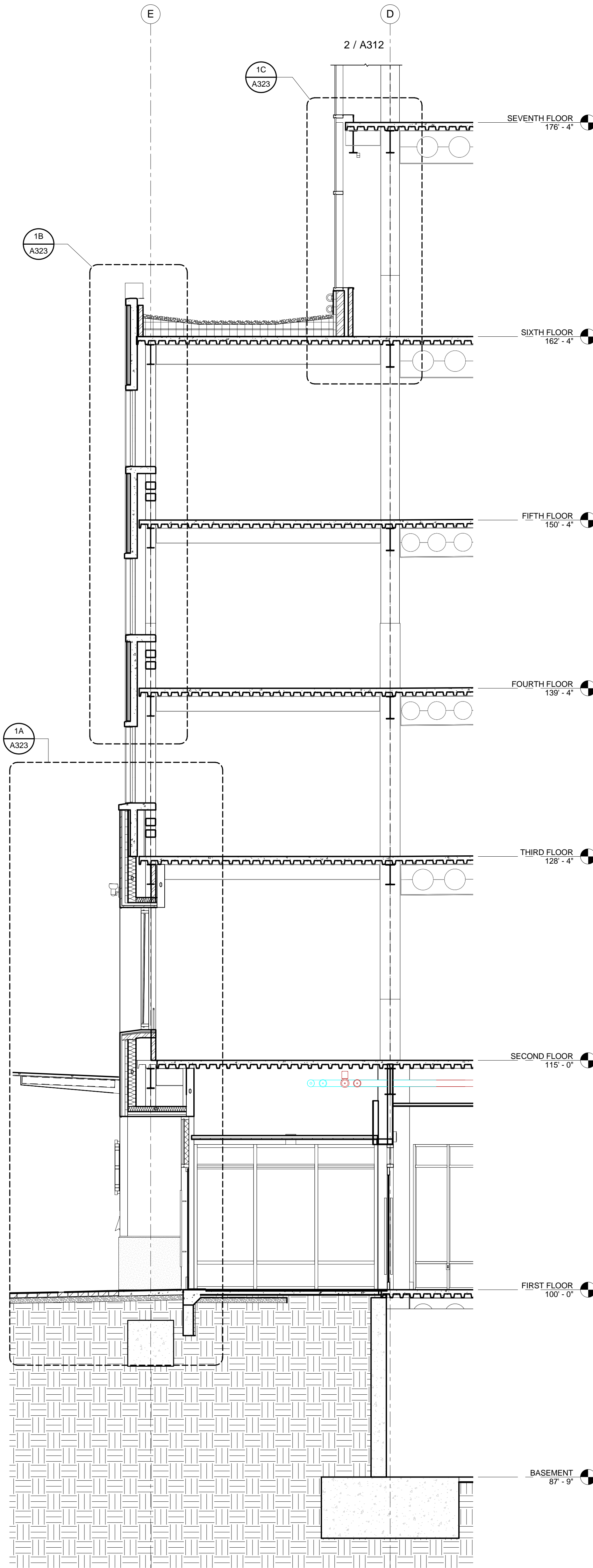
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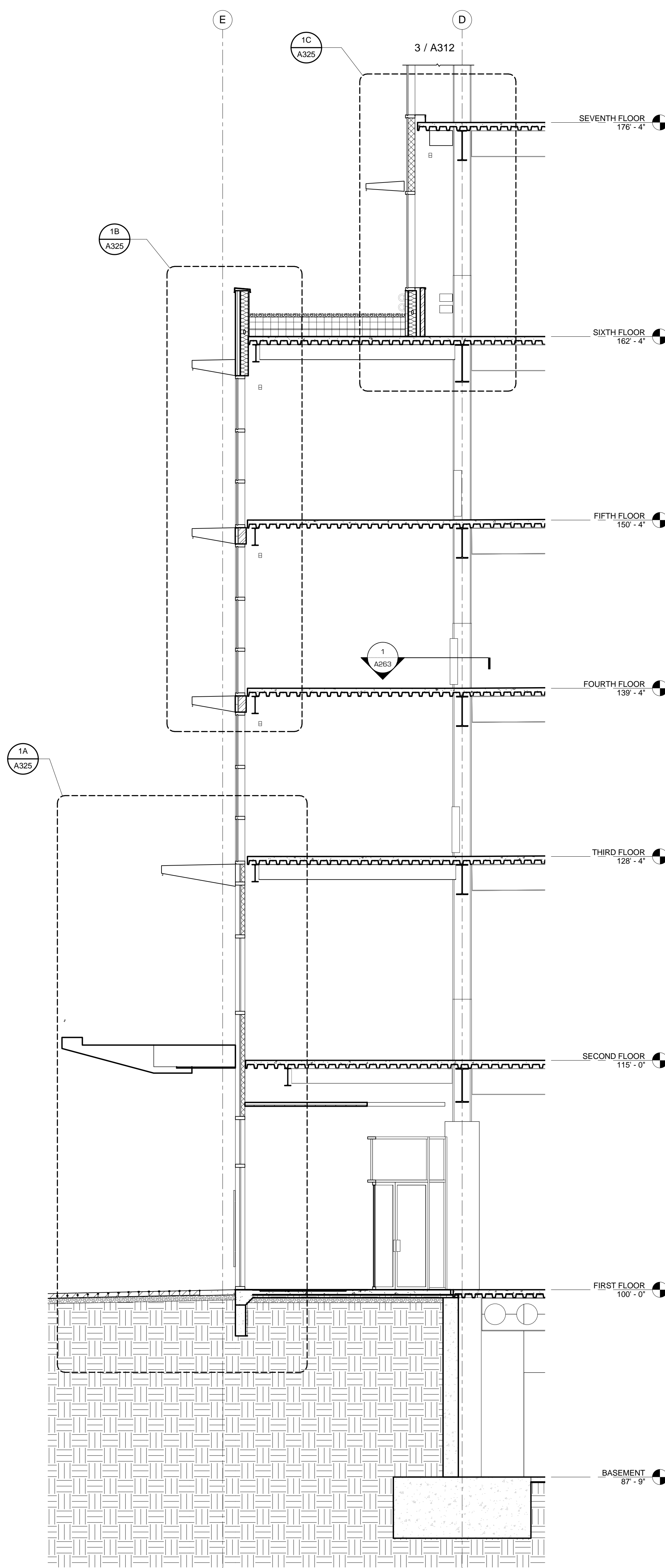
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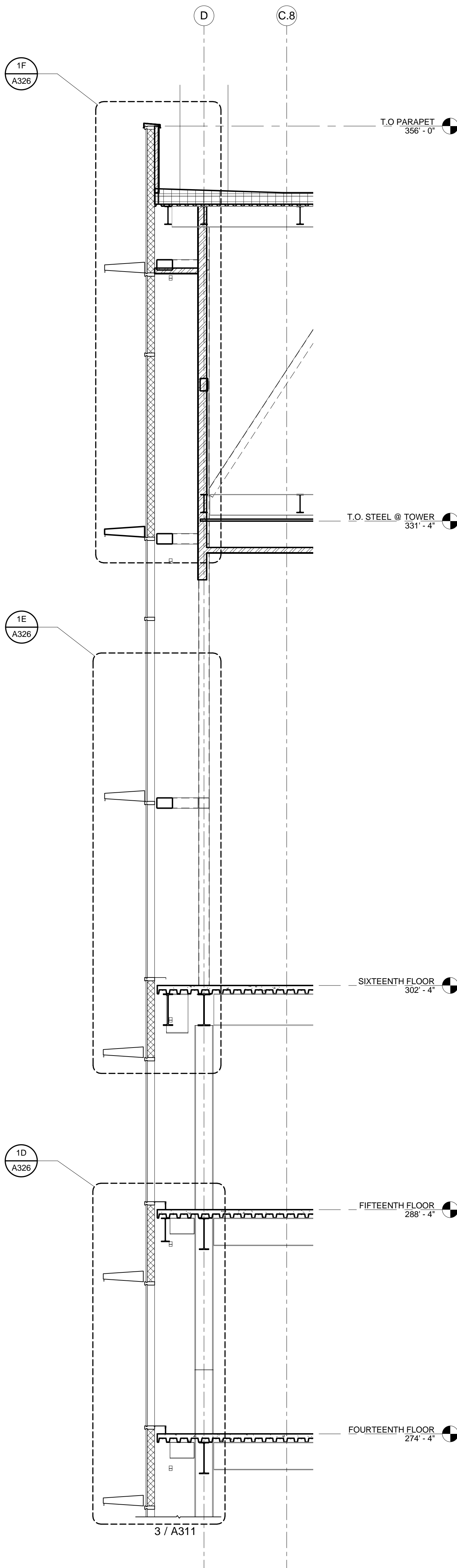
1 WALL SECTION @ GRID E & 4.2 1-8
1/4" = 1'-0"



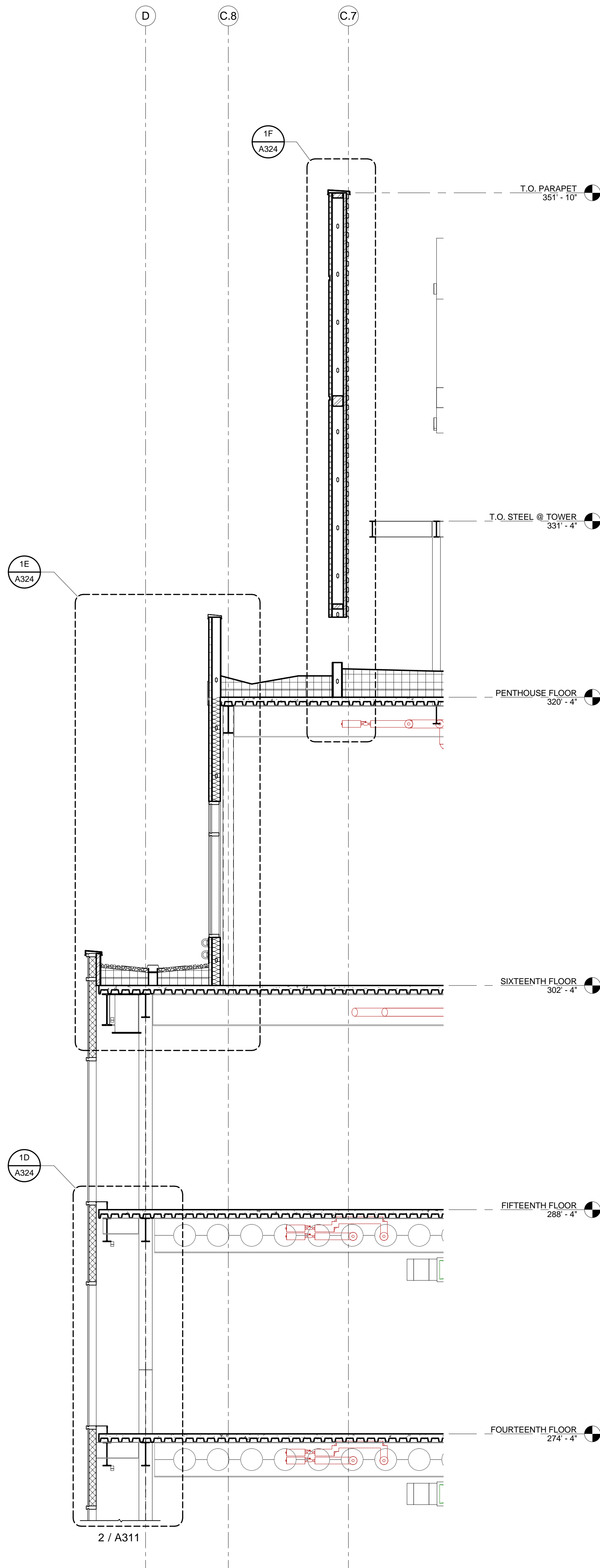
2 WALL SECTION @ GRID E & 2.2 1-8
1/4" = 1'-0"



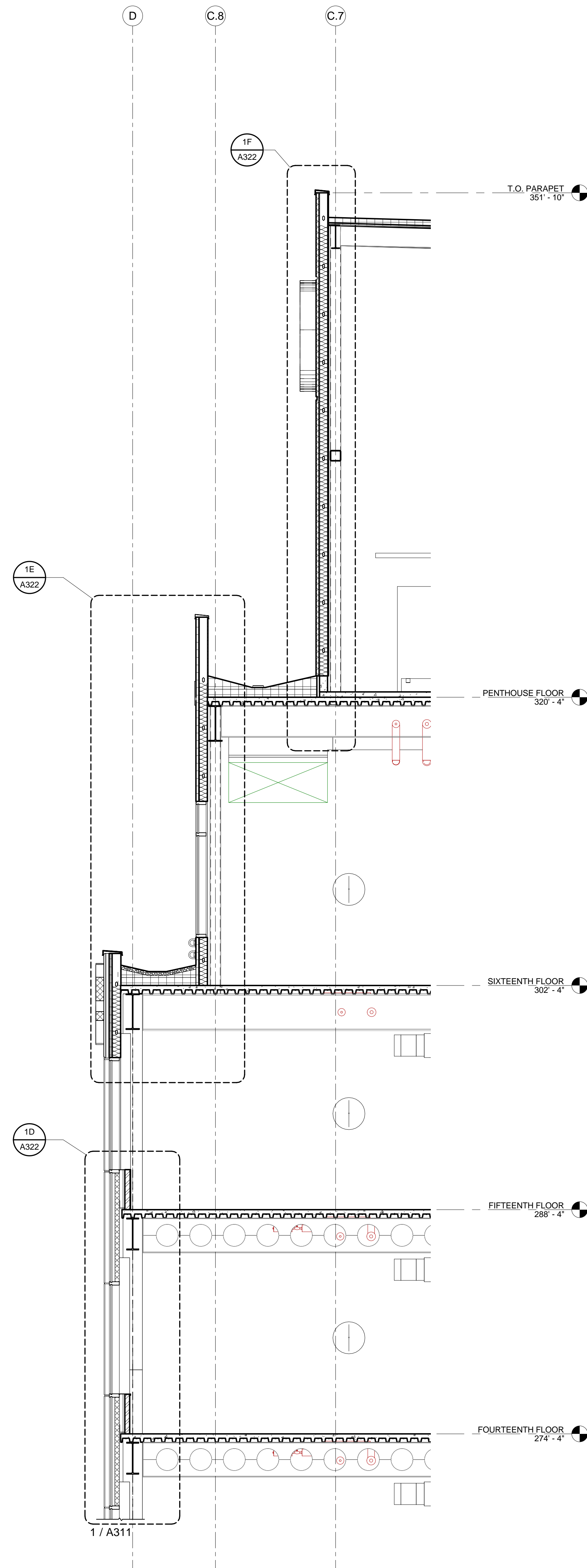
3 WALL SECTION @ GRID E & 1.2 1-8
1/4" = 1'-0"



3 WALL SECTION @ GRID E & 1.2 14
1/4" = 1'-0"



2 WALL SECTION @ GRID E & 2.2 14
1/4" = 1'-0"



1 WALL SECTION @ GRID E & 4.2 14
1/4" = 1'-0"

WALL SECTION LEGEND

1. PROPERLY PREPARED SUB GRADE OR ENGINEERED FILL. SEE SOIL REPORT
2. EXTERIOR CONCRETE SLAB / SIDEWALK (SLOPE AWAY FROM BLDG.) SEE CIVIL
3. CONTINUOUS R-7.5 RIGID INSULATION
4. VAPOR BARRIER, SEE SPECIFICATIONS
5. REINFORCED CONCRETE FOOTING AND FOUNDATION, SEE STRUCTURAL
6. EXIST. CONC. FOOTING, SEE STRUCT.
7. EXIST. CONC. WALL, SEE STRUCT.
8. CONCRETE MAT SLAB, SEE STRUCT.
9. CONCRETE SLAB ON 4" GRAVEL BASE, SEE STRUCTURAL
10. PREFINISHED METAL FLASHING
11. CONT. BACKER ROD AND SEALANT AS REQ.
12. GLAZING SYSTEM AS SCHEDULED (TYP.)
13. SPANDREL GLAZING PANEL
14. ALUMINUM STOREFRONT WINDOW SYSTEM
15. UNITIZED ALUMINUM CURTAIN WALL SYSTEM, SEE DETAILS
16. ALUMINUM STOOL EXTENSION @ SILL MULLION TO RECEIVE GYP. BD.
17. HEADER - SEE STRUCTURAL
18. DOOR AND FRAME AS SCHEDULED (TYP.)
19. PREFINISHED COILING METAL DOOR
20. EXISTING WALL ADJACENT BUILDING
21. WALL BASE AS SCHEDULED
22. 6" METAL STUDS, SEE STRUCTURAL FOR GAUGE SPACING
23. 3 5/8" METAL STUDS, SEE STRUCTURAL FOR GAUGE SPACING
24. WALL FURRING CHANNELS @ 24" O.C.
25. R-13 BATT INSULATION
26. R-19 BATT INSULATION
27. VAPOR BARRIER
28. 5/8" GYPSUM BOARD (PAINTED), USE WATER RESISTIVE GYPSUM BOARD AT WET WALLS (TYP.)
29. 5/8" GYPSUM BOARD BY OTHERS
30. 3 CM GRANITE CLADDING
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32. REVEAL, SEE DETAILS
33. METAL FEATURE, SEE DETAIL
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88. CONCRETE CURB, SEE DETAILS AND STRUCTURAL

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WALL
SECTIONS

SHEET

A312

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CONCRETE SIDEWALK SECTION

CONCRETE TRAFFIC SECTION (ALLEY)

4" VALLEY GUTTER

ALL MEET REQUIREMENTS OF ISPWC SD-708

PAVING PLAN

SCALE: 1"=5'

BRICK LAY PAVING

NTS

90 South 400 West
Suite 310
Salt Lake City, UT 84101
(801) 763-5100

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CORE AND SHELL

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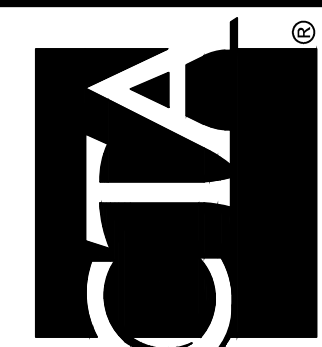
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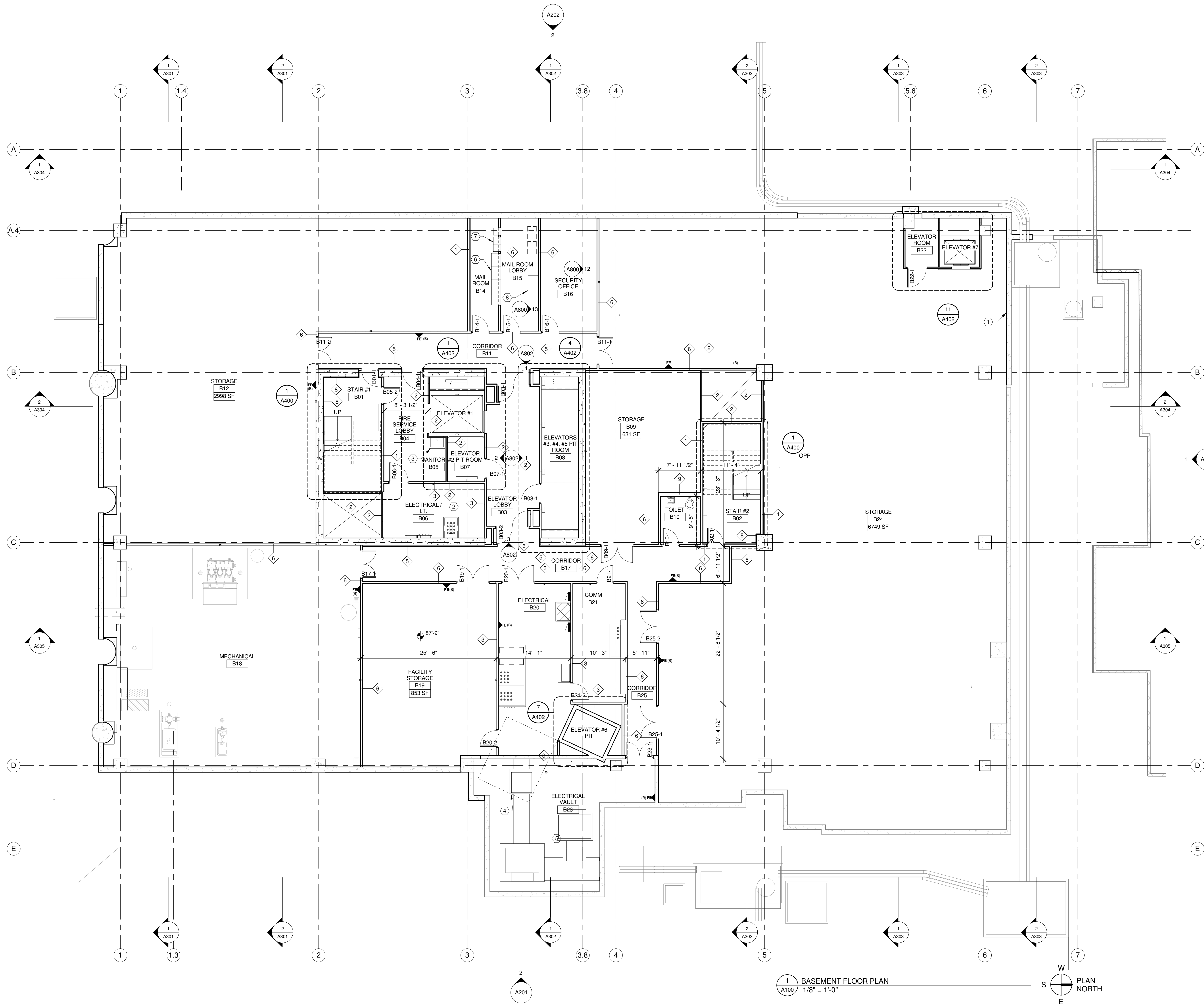
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SITE PLAN

SCALE
1" = 10'

SHEET

C3



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

A. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
B. DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.
C. CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES. ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED.
D. FOR BUILDING CODE REQUIREMENTS, RE: 'F' SHEETS
E. FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.
F. BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
G. ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 3-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

SHEET NOTES

1. NEW WALL, RE: STRUCTURAL DRAWINGS.
2. 3/4" APA RATED PLYWOOD TO 8'-0" A.F.F. IN THIS ROOM (3 WALLS).
3. MOP SINK, RE: PLUMBING DRAWINGS.
4. ESCALATOR PIT ABOVE, RE: 3/A403.
5. 1-HR SPRAY APPLIED FIRE PROOFING TO BOTTOM OF STEEL DECK IN THIS ROOM.
6. (4) ALUMINUM MAILBOX UNITS, RE: XXX.
7. (3) ALUMINUM MAIL DROP BOXES, RE: XXX.
8. P-LAM COUNTERTOP WALL MOUNTED, 2' x 6', RE: XXX.

- PLAN LEGEND**
- WALL TYPE (SEE SHEET A101)
 - WALL TYPE NOTE
 - ROOM NAME AND NUMBER
 - WINDOW TYPE (SEE SHEET A601)
 - PLAN NOTE
 - SIM
 - DETAIL OR SECTION NUMBER
 - SHEET WHERE DRAWN
 - DOOR NUMBER (SEE SHEET A601)
 - DIMENSION TO FACE OF STUD
 - DIMENSION TO GRID LINE
 - SLOPE X-X
 - INDICATES ROOF SLOPE
- IF NO SLOPE IS LISTED ASSUME
1/4" PER 12" MIN - SLOPE ALL
CRICKETS TO DRAIN - ROOF DRAIN
SUMPS SLOPE 1/2" PER 12"
 - FE
 - FE (B)
 - FIRE EXTINGUISHER IN CABINET
 - FIRE EXTINGUISHER WALL AND
BRACKET MOUNTED

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8TH AND MAIN TOWER
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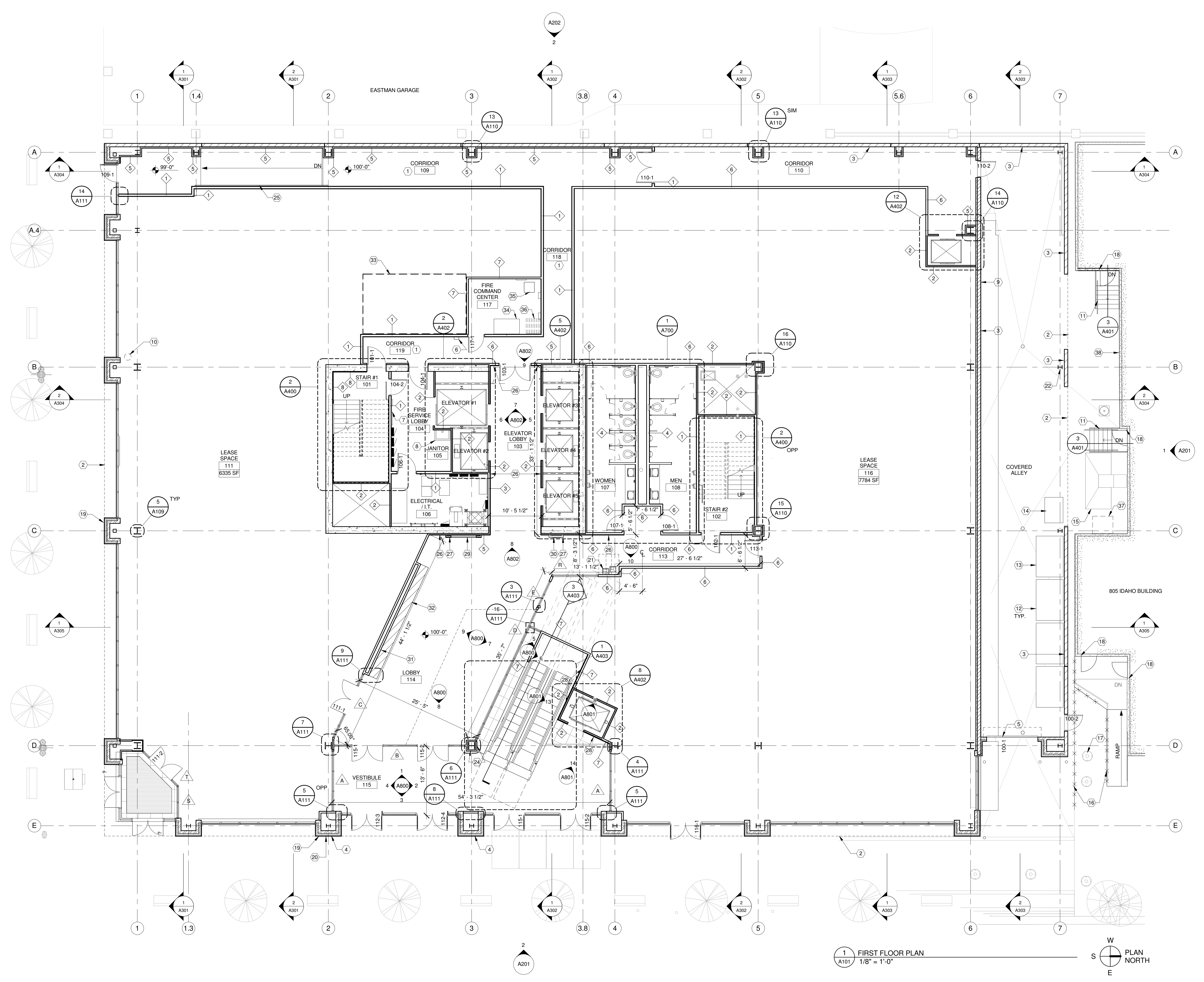
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BASEMENT
FLOOR PLAN

SHEET
A100



- ### GENERAL NOTES
- A. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
B. DOOR JAMBS ARE SET TO 4\"/>

- ### SHEET NOTES
1. 2HR RATED CEILING ASSEMBLY ABOVE, RE: X/XXXX.
2. LINE OF BUILDING ABOVE.
3. CMU WALL, RE: SPECIFICATION SECTION 042000 \"MASONRY\".
4. POWER ASSIST BUTON, RE: XXXX.
5. COILING DOOR, RE: XXXX.
6. POST OFFICE KEY BOX, RE: 105500.
7. ELECTRICAL PANELS.
8. MOP SINK, RE: PLUMBING DRAWINGS.
9. BLOCK-OUTS FOR FUTURE DUCTS, RE: XXXX.
10. PLUMBING VENT PIPE.
11. NEW CONCRETE STAIR, RE: 3/A401.
12. TRASH CONTAINERS BY OWNER.
13. TRASH COMPACTOR, O.F.C.I. BASIS OF DESIGN: JV MANUFACTURING, CV-03 VERTICAL 3-YARD COMPACTOR, RE: 116225.
14. GREASE CONTAINER, RE: XXXX.
15. EXISTING MECHANICAL EQUIPMENT WITH NEW FIRE RATED SHAFT, RE: XXXX.
16. EXISTING FENCE TO REMAIN.
17. EXISTING GREASE INTERCEPTOR, ADD VENTING, RE: PLUMBING DRAWINGS.
18. REPLACE EXISTING DOOR WITH 90 MINUTE HOLLOW METAL DOOR, PAINT, REPLACE HARDWARE AS REQUIRED TO RETAIN EXISTING DOOR FUNCTIONING.
19. F. D. C. LOCATION, RE: FIRE PROTECTION DRAWINGS.
20. KNOX BOX, PROVIDE KNOX VAULT 4100 SERIES OR APPROVED EQUAL, MOUNT CENTERED ON PLASTER AT 38\"/>

- ### PLAN LEGEND
- WALL TYPE (SEE SHEET A101)
WALL TYPE NOTE
ROOM NAME AND NUMBER
WINDOW TYPE (SEE SHEET A601)
PLAN NOTE
DETAIL OR SECTION NUMBER
SHEET WHERE DRAWN
DOOR NUMBER (SEE SHEET A601)
DIMENSION TO FACE OF STUD
DIMENSION TO GRID LINE
SLOPE X:X INDICATES ROOF SLOPE
IF NO SLOPE IS LISTED ASSUME 1/4\"/>

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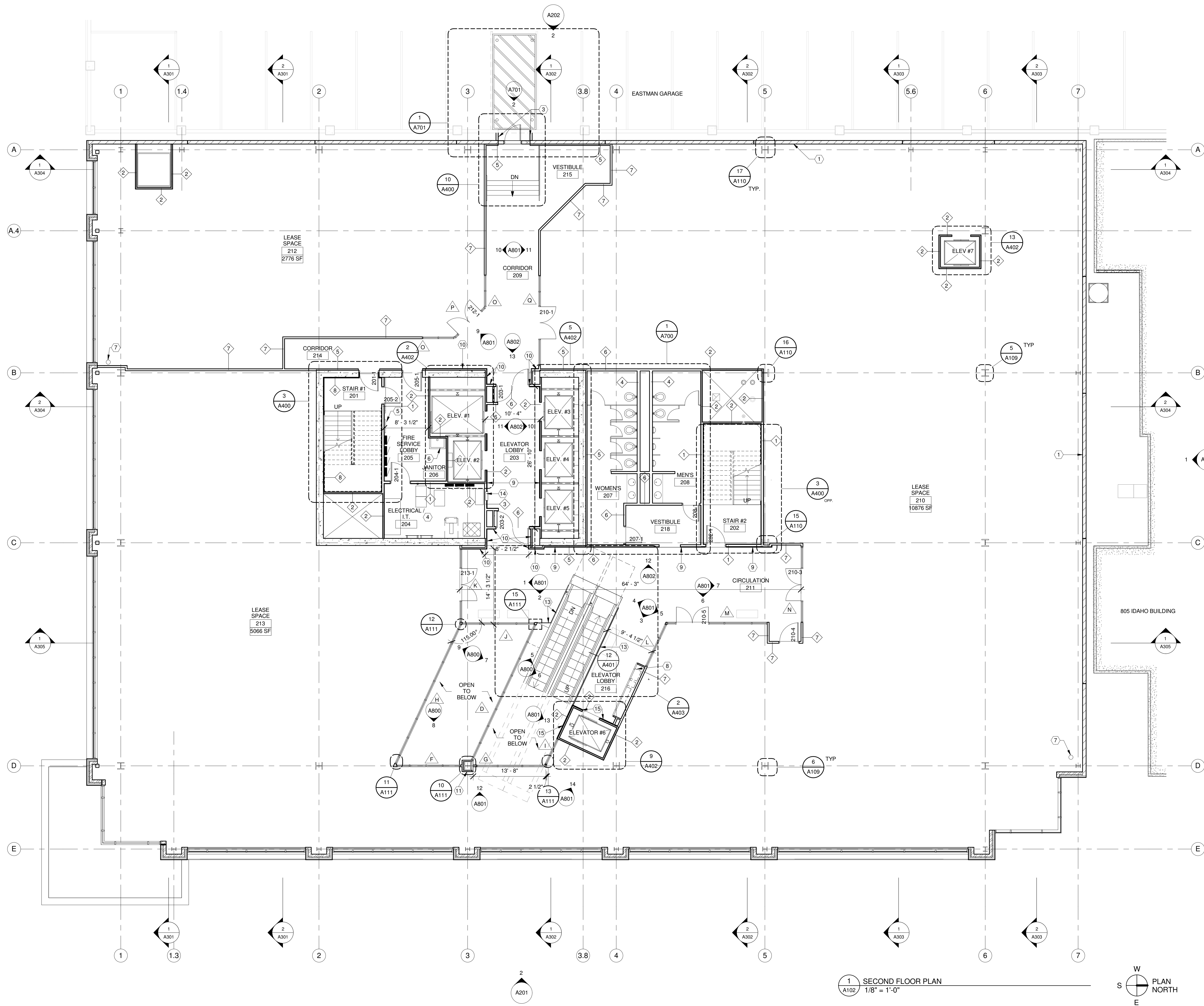
FIRST FLOOR
PLAN

SHEET
A101

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1 SECOND FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
- DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.
- CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES. ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED.
- FOR BUILDING CODE REQUIREMENTS, RE: 'F' SHEETS.
- FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.
- BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
- ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 5-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

SHEET NOTES

- EXTERIOR CMU WALL, RE: 042000.
- NOT USED.
- STEEL CORNER PLATE, RE: AXXX.
- 3/4" APA RATED PLYWOOD TO 8'-0" A.F.F. IN THIS ROOM (3WALLS).
- ELECTRIC PANELS.
- MOP SINK, RE: PLUMBING DRAWINGS.
- PLUMBING VENT PIPE.
- ARTWORK ENCLOSURE, RE: DETAIL X/XXXX.
- MARBLE CLADDING, RE: WALL ASSEMBLIES A109, INTERIOR ELEVATIONS A800'S AND FLOOR FINISH PLANS A500'S.
- WOOD PANEL SYSTEM CLADDING, RE: INTERIOR ELEVATIONS A800'S AND FLOOR FINISH PLANS A500'S.
- TILE CLADDING ALL SIDES OF COLUMN, RE: INTERIOR ELEVATIONS A800'S AND FLOOR FINISH PLANS A500'S.
- SLOPED GYPSUM CEILING BELOW.
- GLASS GUARD RAIL, RE: GUARDRAIL DETAILS A400'S.
- ELECTRIC DIRECTORY BY DIRECTORY SOLUTIONS MODEL MRS-19V.
- RE: INTERIOR ELEVATIONS A800'S AND ELECTRICAL DRAWINGS.
- LAMINATED WALL PANEL SYSTEM, RE: INTERIOR ELEVATIONS A800'S AND FLOOR FINISH PLANS A500'S.

PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
- WALL TYPE NOTE
- ROOM NAME
- ROOM NAME AND NUMBER
- WINDOW TYPE (SEE SHEET A601)
- PLAN NOTE
- SIM
- DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE
- SLOPE XX
- INDICATES ROOF SLOPE
- IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN - SLOPE ALL CRICKETS TO DRAIN - ROOF DRAIN SLOPS SLOPE 1/2" PER 12"
- FE
- FIRE EXTINGUISHER IN CABINET
- FE (B)
- FIRE EXTINGUISHER WALL AND BRACKET MOUNTED

REVISIONS

8TH AND MAIN TOWER
CORE AND SHELL

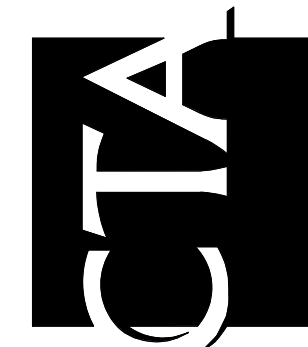
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SECOND
FLOOR PLAN

SHEET

A102

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
B. DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.
C. CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES. ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED.
D. FOR BUILDING CODE REQUIREMENTS, RE: 1" SHEETS
E. FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.
F. BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
G. ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 3-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

SHEET NOTES

1. PAVEMENT PAINT, COLOR YELLOW, RE: 321723.
2. CONCRETE FILLED PIPE BOLLARD, THRU BOLTED TO EXISTING SLAB, PAINTED YELLOW, RE: SPECIFICATION SECTION 055000.
3. PARKING CONTROL EQUIPMENT BY PROTECTION TECH - SKI DATA WITH AVI SYSTEM TO BE TIED INTO PARKING CONTROL SYSTEM IN EASTMAN GARAGE, RE: SPECIFICATION SECTION 111200.
4. 3-HOUR OVERHEAD COILING DOOR, RE: 083323.
5. CMU WALL TO DECK, RE: 042000. COORDINATE WITH STRUCTURAL DRAWINGS.
6. CONCRETE CURB, PAINTED YELLOW, RE: SITE ELECTRICAL DRAWINGS.
7. CONCRETE FILLED PIPE BOLLARD ENCASED IN SLAB, PAINTED YELLOW, RE: SPECIFICATION SECTION 055000.
8. PREFINISHED CONCRETE FILLED BOLLARD, THRU BOLTED TO EXISTING SLAB, RE: SPECIFICATION SECTION 055000.
9. PLUMBING VENT PIPE, COORDINATE WITH PLUMBING DRAWINGS.
10. PAVEMENT PAINT, RE: 2/A103.
11. PAVEMENT PAINT, RE: 3/A103.
12. PAVEMENT PAINT, RE: 4/A103.
13. CRASH BARRIER, PAINTED YELLOW, RE: 099113. COORDINATE WITH SE DRAWINGS.
14. PAVEMENT PAINT, STALL IDENTIFICATION, TEXT TO BE 18" TALL, COLOR YELLOW, COORDINATE WITH OWNER FOR ACTUAL STALL IDENTIFICATION TEXT.
15. WALL MOUNTED STEEL BIKE RACK BY MADRAX OR APPROVED EQUAL.
16. ELECTRIC DIRECTORY BY DIRECTORY SOLUTIONS MODEL MRS-19V.

REVISIONS

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CORE AND SHELL

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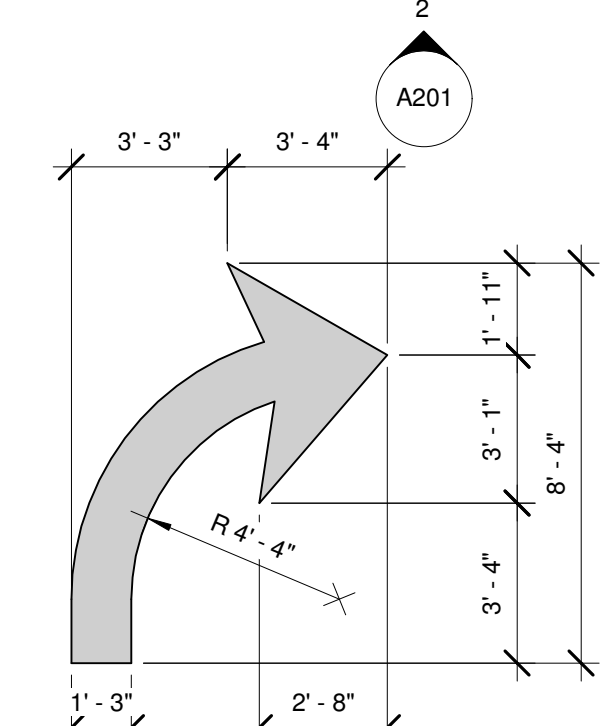
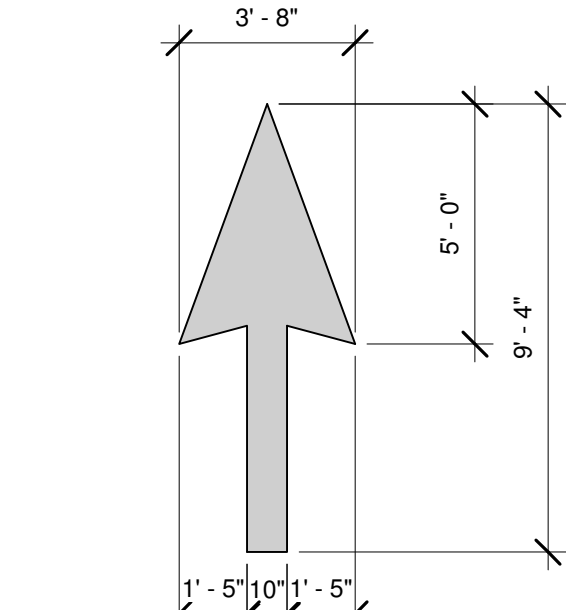
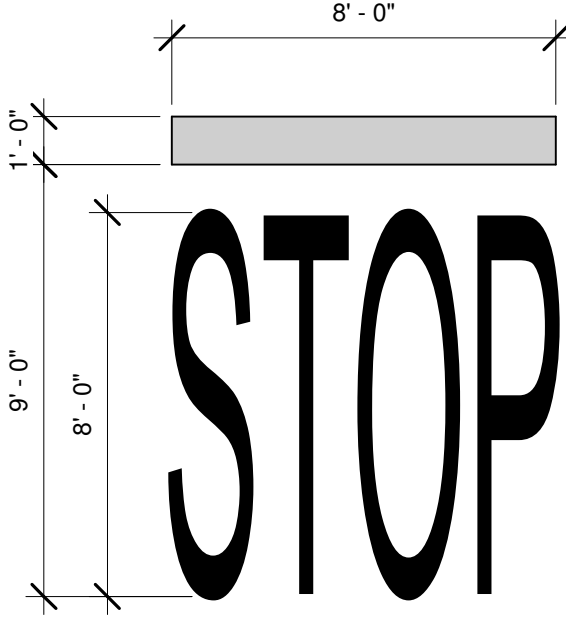
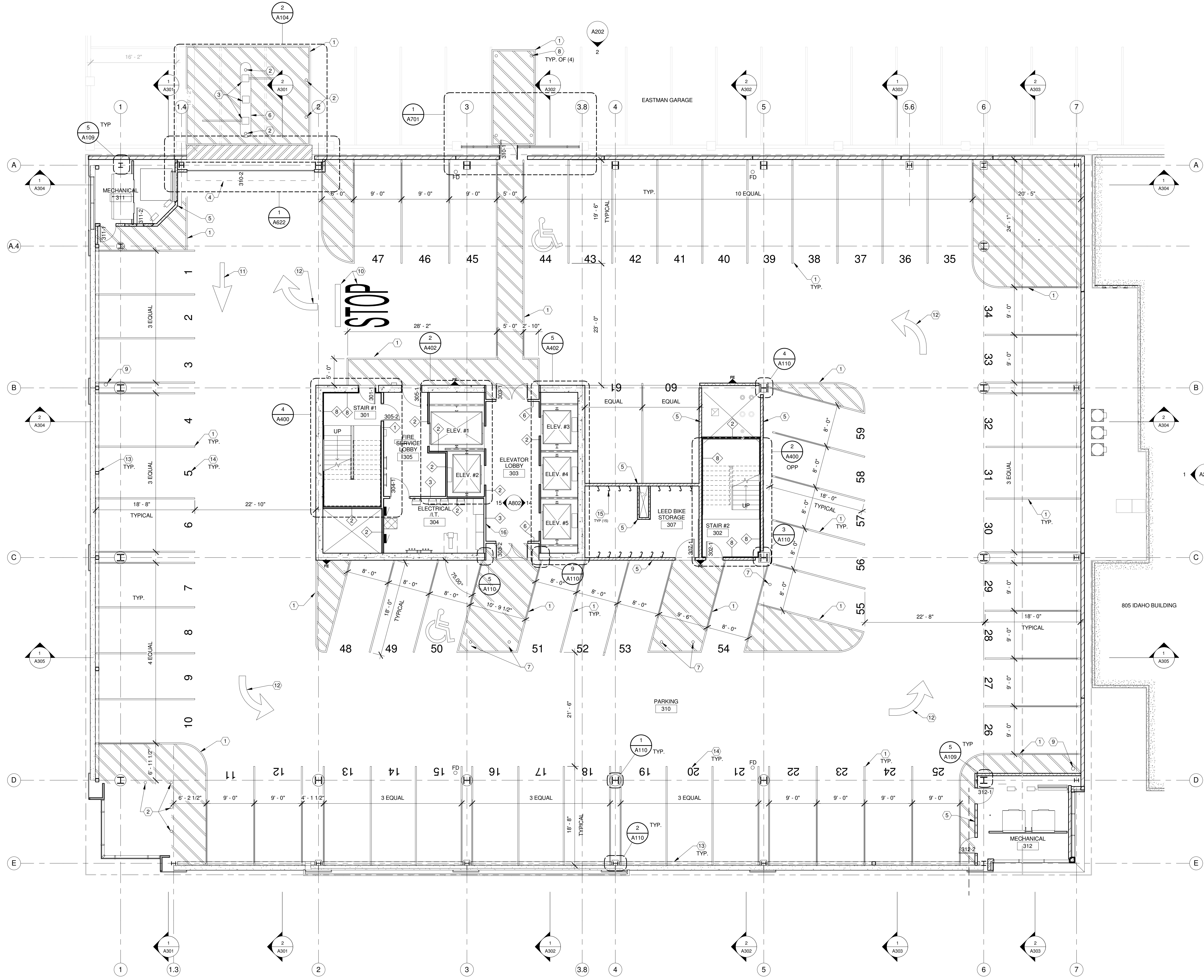


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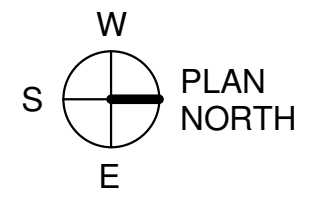
THIRD FLOOR
PLAN

SHEET
A103

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



1 THIRD FLOOR PLAN
1/8" = 1'-0"



PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
XX WALL TYPE NOTE
ROOM NAME AND NUMBER
WINDOW TYPE (SEE SHEET A601)
PLAN NOTE
SIM DETAIL OR SECTION NUMBER
SHEET WHERE DRAWN
DOOR NUMBER (SEE SHEET A601)
DIMENSION TO FACE OF STUD
DIMENSION TO GRID LINE
SLOPE X:X INDICATES ROOF SLOPE
IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN. SLOPE ALL CRICKETS TO DRAIN - ROOF DRAIN SLOPS SLOPE 1/2" PER 12"
FE FIRE EXTINGUISHER IN CABINET
FE (B) FIRE EXTINGUISHER WALL AND BRACKET MOUNTED

GENERAL NOTES

A. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
B. DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.
C. CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES. ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED. FOR BUILDING CODE REQUIREMENTS, RE: F. SHEETS
D. FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.
E. BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
F. ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 3-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

- SHEET NOTES
1. PAVEMENT PAINT, COLOR YELLOW, RE: 321723.
 2. CONCRETE FILLED PIPE BOLLARD, THRU BOLTED TO EXISTING SLAB, PAINTED YELLOW, RE: SPECIFICATION SECTION 055000.
 3. PARKING CONTROL EQUIPMENT BY PROTECTION TECH - SKI DATA WITH AVI SYSTEM TO BE TIED INTO PARKING CONTROL SYSTEM IN EASTMAN GARAGE, RE: SPECIFICATION SECTION 111200.
 4. 3-HOUR OVERHEAD COILING DOOR, RE: 083323.
 5. CMU WALL TO DECK, RE: 042000. COORDINATE WITH STRUCTURAL DRAWINGS.
 6. CONCRETE CURB, PAINTED YELLOW, RE: SITE ELECTRICAL DRAWINGS.
 7. CONCRETE FILLED PIPE BOLLARD ENCASED IN SLAB, PAINTED YELLOW, RE: SPECIFICATION SECTION 055000.
 8. PREFINISHED CONCRETE FILLED BOLLARD, THRU BOLTED TO EXISTING SLAB, RE: SPECIFICATION SECTION 055000.
 9. PLUMBING VENT PIPE, COORDINATE WITH PLUMBING DRAWINGS.
 10. EMERGENCY GENERATOR, COORDINATE WITH ELECTRICAL DRAWINGS.
 11. PAVEMENT PAINT, RE: 2/A103.
 12. PAVEMENT PAINT, RE: 3/A103.
 13. PAVEMENT PAINT, RE: 4/A103.
 14. CRASH BARRIER, PAINTED YELLOW, RE: 099113. COORDINATE WITH SE DRAWINGS.
 15. PAVEMENT PAINT, STALL IDENTIFICATION, TEXT TO BE 18" TALL, COLOR YELLOW, COORDINATE WITH OWNER FOR ACTUAL STALL IDENTIFICATION TEXT.
 16. WALL MOUNTED STEEL BIKE RACK BY MADRAX OR APPROVED EQUAL.
 17. ELECTRIC DIRECTORY BY DIRECTORY SOLUTIONS MODEL MRS-19V.

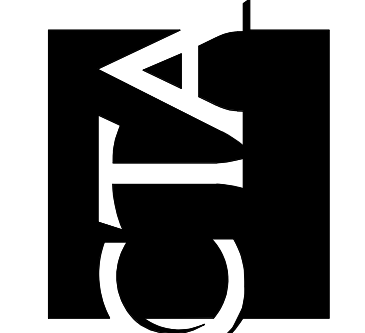
8TH AND MAIN TOWER
CORE AND SHELL

800 WEST MAIN STREET BOISE, IDAHO 83702

BID PACKAGE 2
50% CONSTRUCTION
DOCUMENTS

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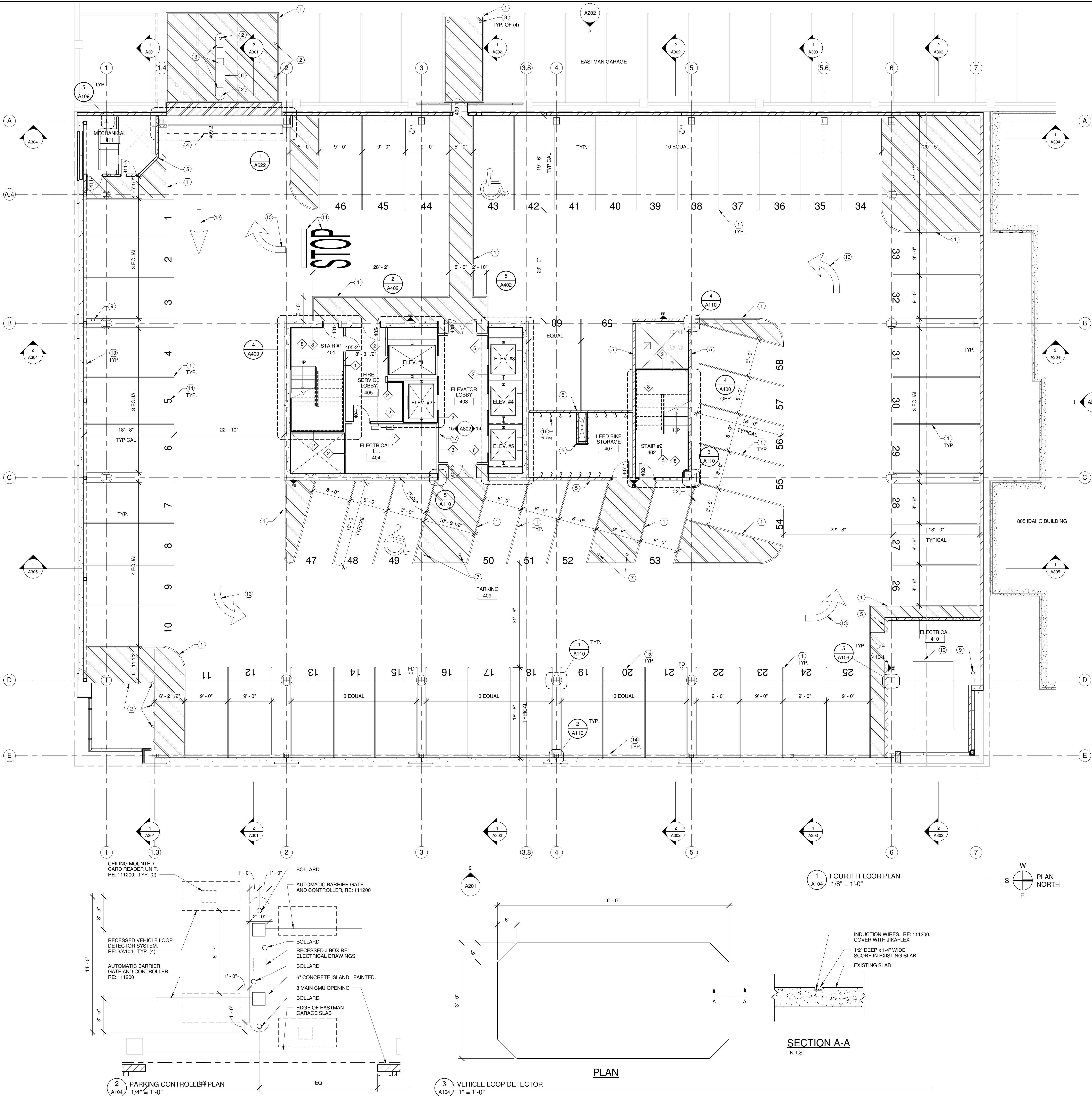


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FOURTH
FLOOR
PARKING PLAN

SHEET
A104



GENERAL NOTES

A.

B.

C.

D.

E.

F.

G.

DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.

DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.

CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES. ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED.

FOR BUILDING CODE REQUIREMENTS, RE: 1" SHEETS

FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.

ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 3-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

SHEET NOTES

1.

2.

3.

4.

5.

6.

7.

8.

9.

10.

11.

12.

13.

14.

15.

16.

17.

18.

PAVEMENT PAINT, COLOR YELLOW, RE: 021723.

CONCRETE FILLED PIPE BOLLARD, THRU BOLTED TO EXISTING SLAB, PAINTED YELLOW, RE: SPECIFICATION SECTION 05500.

PARKING CONTROL EQUIPMENT BY PROTECTION TECH - SKI DATA WITH ANI SYSTEM TO BE TIED INTO PARKING CONTROL SYSTEM IN EASTMAN GARAGE, RE: SPECIFICATION SECTION 111200.

3-HOUR OVERHEAD COLLING DOOR, RE: 083323

CMU WALL TO DECK, RE: 042000. COORDINATE WITH STRUCTURAL DRAWINGS.

CONCRETE CURB, PAINTED YELLOW, RE: SITE ELECTRICAL DRAWINGS.

CONCRETE FILLED PIPE BOLLARD ENCASED IN SLAB, PAINTED YELLOW, RE: SPECIFICATION SECTION 05500.

PREFINISHED CONCRETE FILLED BOLLARD, THRU BOLTED TO EXISTING SLAB, RE: SPECIFICATION SECTION 05500.

PLUMBING VENT PIPE, COORDINATE WITH PLUMBING DRAWINGS.

ALTERNATING TREAD LADDER, PAINTED, RE: 055000.

ROOF HATCH ABOVE, RE: XX/XXXX.

PAVEMENT PAINT, RE: 2/A103.

PAVEMENT PAINT, RE: 3/A103.

PAVEMENT PAINT, RE: 4/A103.

CRASH BARRIER, PAINTED YELLOW, RE: 099113. COORDINATE WITH SE DRAWINGS.

PAVEMENT PAINT, STALL IDENTIFICATION, TEXT TO BE 18" TALL, COLOR YELLOW. COORDINATE WITH OWNER FOR ACTUAL STALL IDENTIFICATION TEXT.

WALL MOUNTED STEEL BIKE RACK BY MADRAX OR APPROVED EQUAL.

ELECTRIC DIRECTORY BY DIRECTORY SOLUTIONS MODEL MRS-19V.

8TH AND MAIN TOWER
CORE AND SHELL

800 WEST MAIN STREET BOISE, IDAHO 83702

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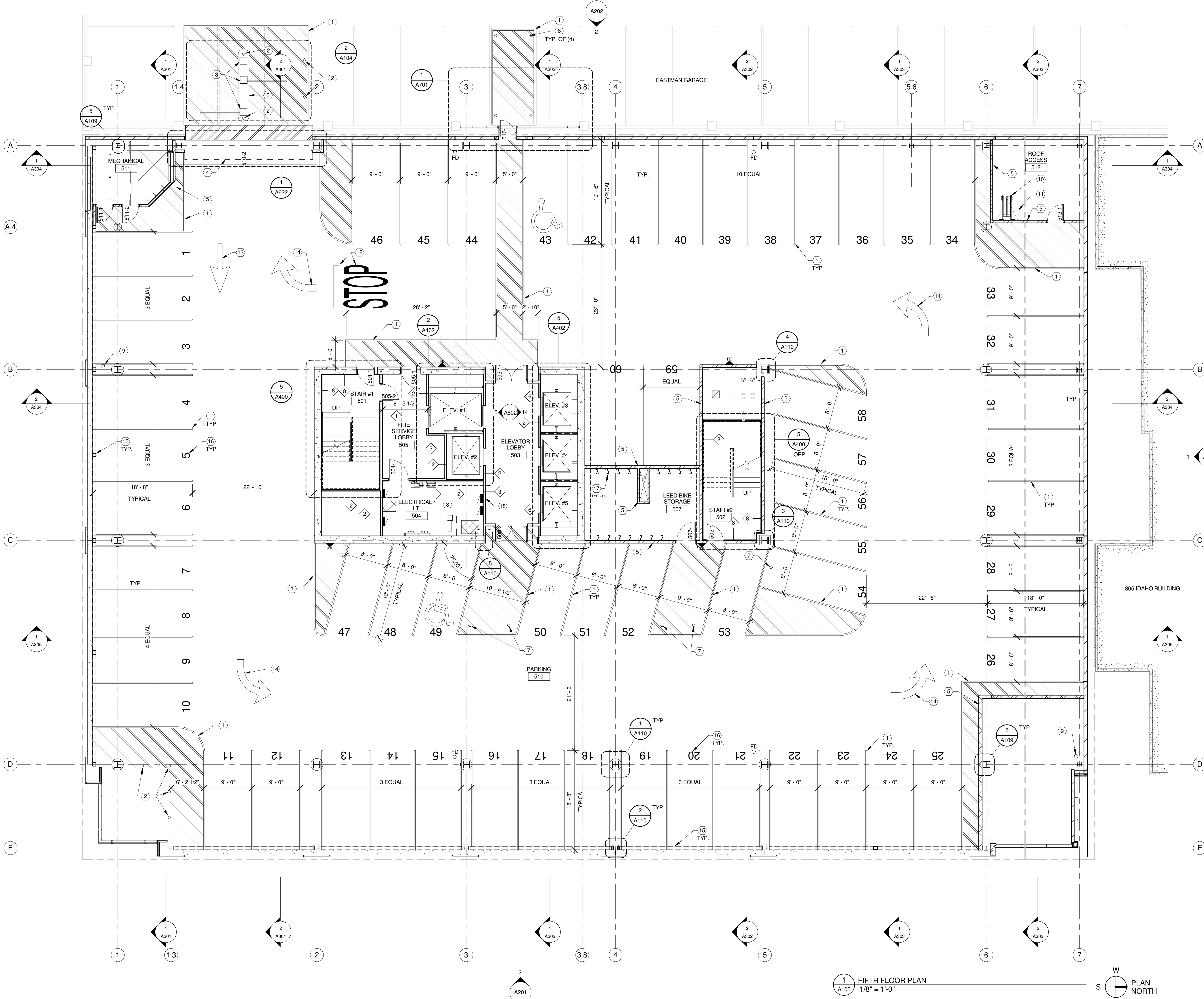
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FIFTH FLOOR
PARKING PLAN

SHEET
A105



PLAN LEGEND

XX

WALL TYPE (SEE SHEET A101)

XX

WALL TYPE NOTE

101

ROOM NAME AND NUMBER

X

WINDOW TYPE (SEE SHEET A601)

X

PLAN NOTE

1
A101

SIM
DETAIL OR SECTION NUMBER
SHEET WHERE DRAWN

5

DOOR NUMBER (SEE SHEET A601)

—

DIMENSION TO FACE OF STUD

—

DIMENSION TO GRID LINE

SLOPE X-X

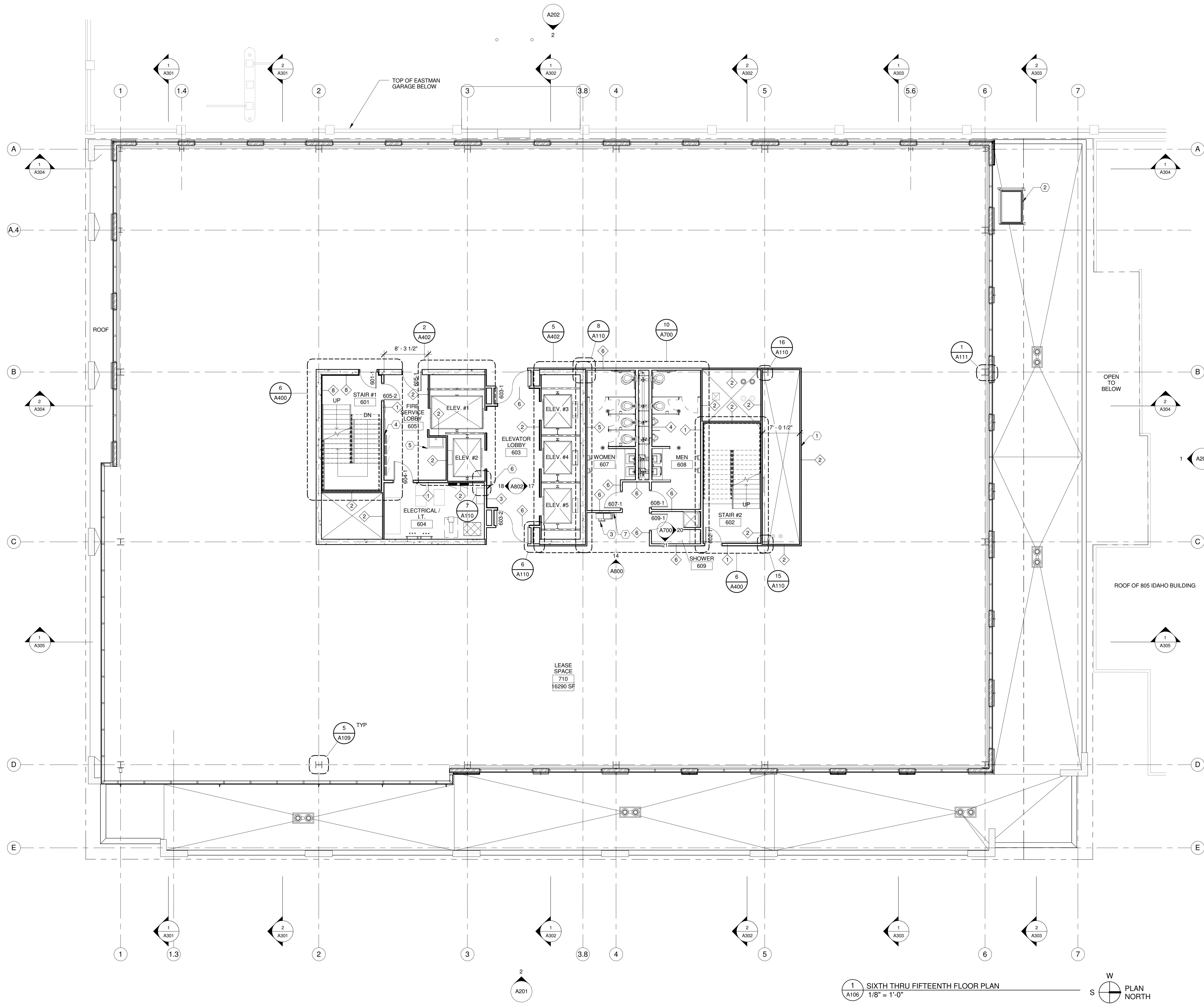
INDICATES ROOF SLOPE
- IF NO SLOPE IS LISTED ASSUME
1/4" PER 12" MIN - SLOPE ALL
CRICKETS TO DRAIN - ROOF DRAIN
SUMPS SLOPE 1/2" PER 12"

FE

FIRE EXTINGUISHER IN CABINET

FE (B)

FIRE EXTINGUISHER WALL AND
BRACKET MOUNTED



1 SIXTH THRU FIFTEENTH FLOOR PLAN
1/8" = 1'-0"

- GENERAL NOTES**
- A. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
 - B. DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.
 - C. CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES. ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED.
 - D. FOR BUILDING CODE REQUIREMENTS, RE: 'F' SHEETS
 - E. FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.
 - F. BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
 - G. ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 3-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

- SHEET NOTES**
- 1. SHAFT BEGINS AT FLOOR 7.
 - 2. ROOF ACCESS, RE: AXXX.
 - 3. DRINKING FOUNTAINS.
 - 4. ELECTRICAL PANELS, RE: ELECTRICAL DRAWINGS.
 - 5. MOP SINK, RE: PLUMBING DRAWINGS.
 - 6. ELECTRIC DIRECTORY BY DIRECTORY SOLUTIONS MODEL MRS-19V.
 - 7. TILE FINISH, RE: INTERIOR ELEVATIONS A800's.

- PLAN LEGEND**
- WALL TYPE (SEE SHEET A101)
 - WALL TYPE NOTE
 - ROOM NAME AND NUMBER
 - WINDOW TYPE (SEE SHEET A601)
 - PLAN NOTE
 - SIM
 - DETAIL OR SECTION NUMBER
 - SHEET WHERE DRAWN
 - DOOR NUMBER (SEE SHEET A601)
 - DIMENSION TO FACE OF STUD
 - DIMENSION TO GRID LINE
 - SLOPE XX
 - INDICATES ROOF SLOPE
 - IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN. SLOPE ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2" PER 12"
 - FE
 - FIRE EXTINGUISHER IN CABINET
 - FE (B)
 - FIRE EXTINGUISHER WALL AND BRACKET MOUNTED

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

8TH AND MAIN TOWER
CORE AND SHELL

BID PACKAGE 2
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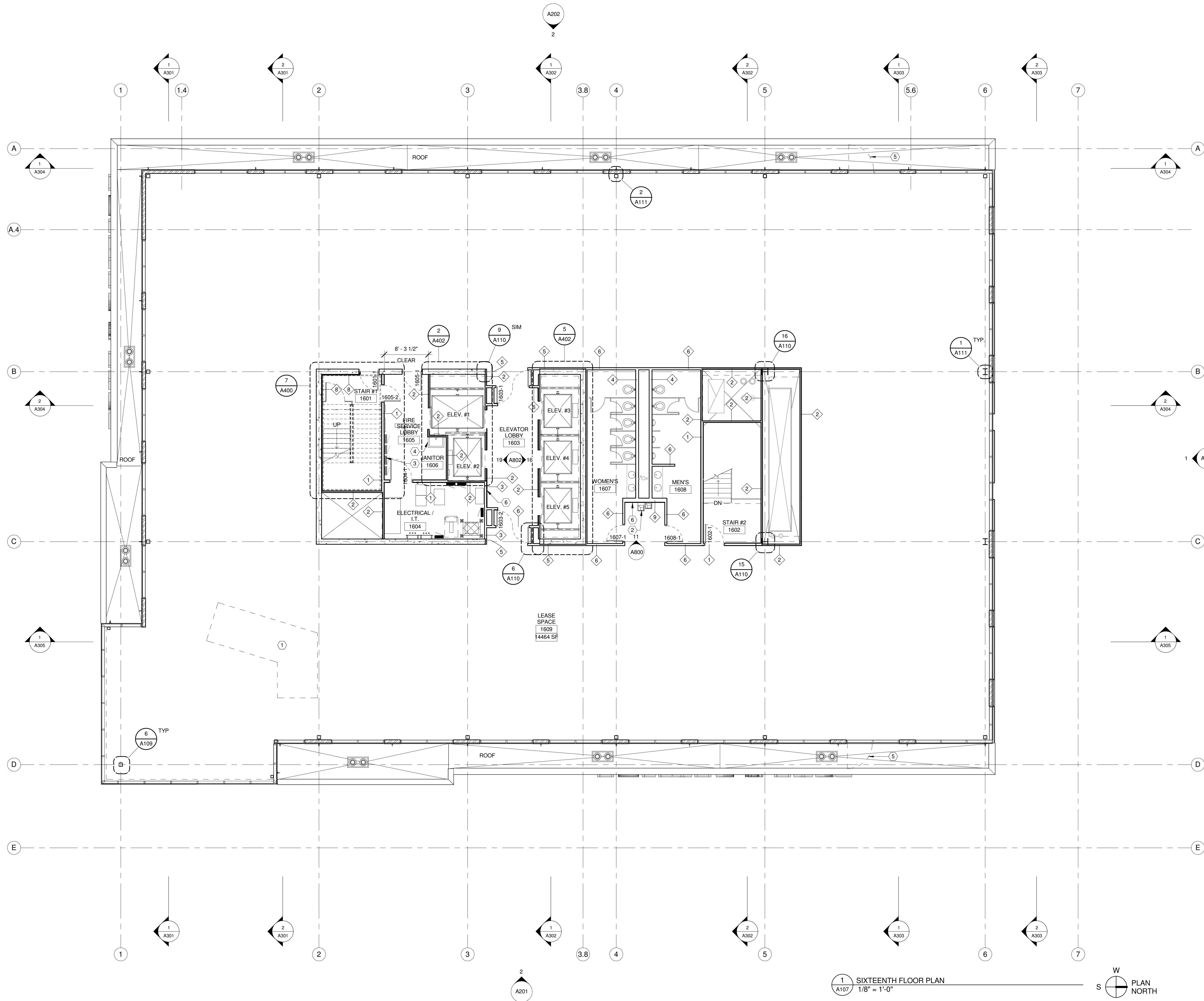
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SIXTH THRU
FIFTEENTH
FLOOR PLAN

SHEET
A106



GENERAL NOTES

A. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
B. DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.
C. CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES. ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED.
D. FOR BUILDING CODE REQUIREMENTS, RE: 'F' SHEETS.
E. FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.
F. BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
G. ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 3-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

SHEET NOTES

1. FUTURE STAIR OPENING. RE: STRUCTURAL DRAWINGS.
2. DRINKING FOUNTAINS.
3. ELECTRICAL PANELS. RE: ELECTRICAL DRAWINGS.
4. MOP SINK. RE: PLUMBING DRAWINGS.
5. ROOF ACCESS. RE: AXXX
6. ELECTRIC DIRECTORY BY DIRECTORY SOLUTIONS MODEL MRS-19V.

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CORE AND SHELL
800 WEST MAIN STREET BOISE, IDAHO 83702

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SIXTEENTH
FLOOR PLAN

SHEET
A107

PLAN LEGEND

WALL TYPE (SEE SHEET A101)
XX WALL TYPE NOTE

ROOM NAME
101 ROOM NAME AND NUMBER

WINDOW TYPE (SEE SHEET A601)

PLAN NOTE

1 SIM
A101 DETAIL OR SECTION NUMBER
SHEET WHERE DRAWN

DOOR NUMBER (SEE SHEET A601)

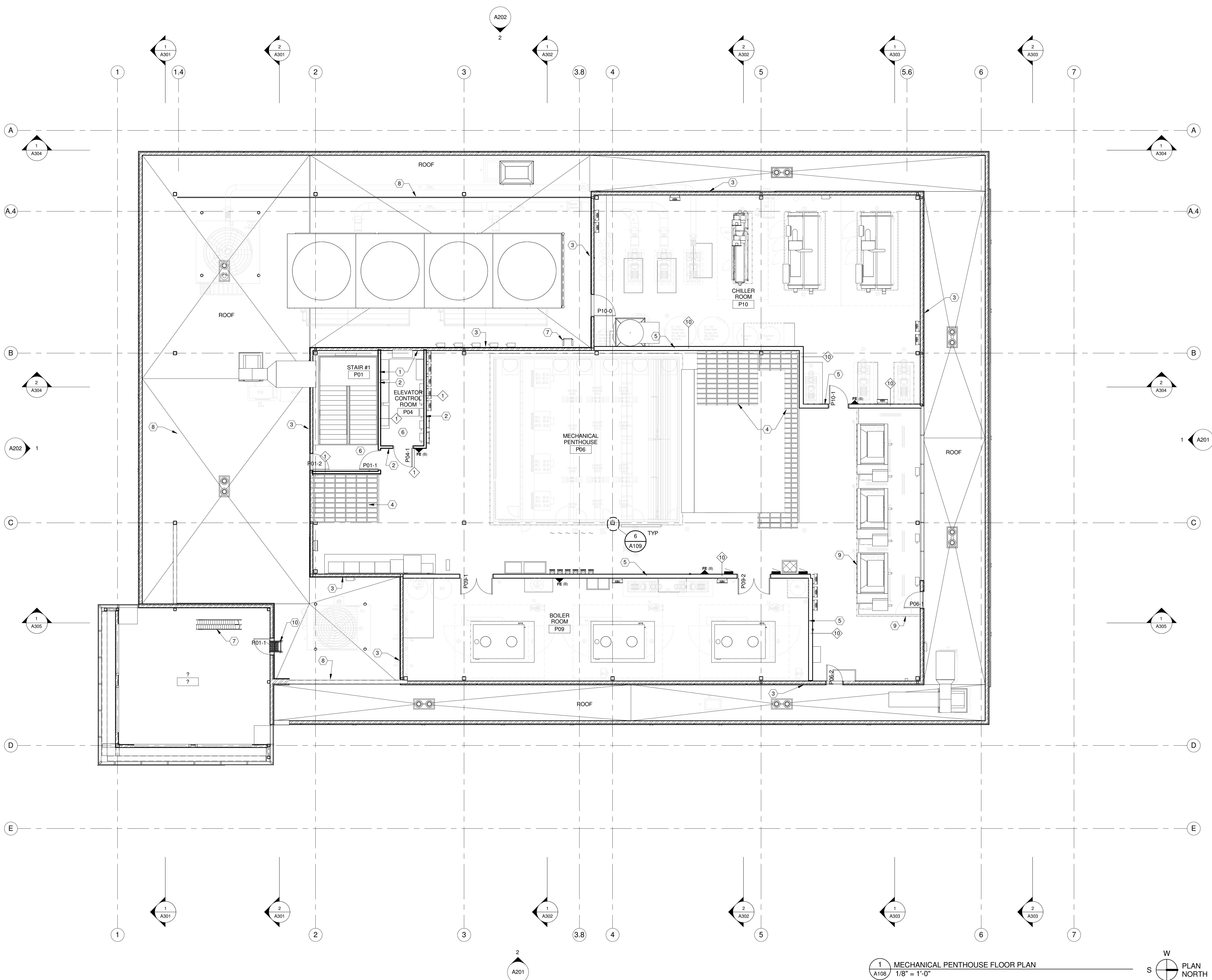
DIMENSION TO FACE OF STUD

DIMENSION TO GRID LINE

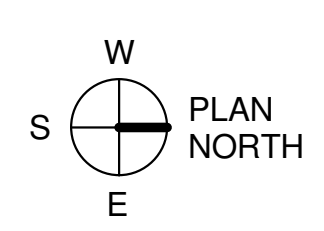
SLOPE XX INDICATES ROOF SLOPE
IF NO SLOPE IS LISTED ASSUME
1/4" PER 12" MIN - SLOPE ALL
CRICKETS TO DRAIN - ROOF DRAIN
SUMPS SLOPE 1/2" PER 12"

FE FIRE EXTINGUISHER IN CABINET
FE (B) FIRE EXTINGUISHER WALL AND
BRACKET MOUNTED

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



1 MECHANICAL PENTHOUSE FLOOR PLAN
A108 1/8" = 1'-0"



- ### GENERAL NOTES
- A. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
 - B. DOOR JAMBS ARE SET TO 4" FROM ADJACENT WALL, U.N.O.
 - C. CONTRACTORS TO COORDINATE ALL FLOOR PENETRATIONS WITH ALL TRADES, ALL PENETRATIONS ARE TO BE 2-HOUR FIRE STOPPED.
 - D. FOR BUILDING CODE REQUIREMENTS, RE: 'F' SHEETS
 - E. FOR WALL ASSEMBLIES AND TOP OF WALL DETAILS, RE: SHEET A109.
 - F. BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS AS REQUIRED.
 - G. ALL EXPOSED STEEL BEAMS AND COLUMNS TO HAVE 5-HR SPRAY APPLIED FIRE PROOFING, TYPICAL ALL FLOORS, U.N.O.

- ### SHEET NOTES
- 1. 3/4" APA RATED PLYWOOD TO 8'-0" A.F.F. ON THIS WALL.
 - 2. WALL TO 9'-0" A.F.F.
 - 3. EXTERIOR WALL, RE: XXXX
 - 4. METAL FLOOR GRATING, RE: MECHANICAL
 - 5. CONSTRUCT WALL ON TOP OF CONCRETE CURB, RE: STRUCTURAL DRAWINGS
 - 6. 2 HR CEILING ASSEMBLY AT 9'-0" A.F.F. IN THIS ROOM.
 - 7. ROOF ACCESS, RE: AXXXX
 - 8. SCREEN WALL AND SUPPORTS, RE: AXXXX
 - 9. SHEET METAL ENCLOSURE, RE: MECHANICAL DRAWINGS
 - 10. MEZZANINE ACCESS, RE: XXX

- ### PLAN LEGEND
- WALL TYPE (SEE SHEET A101)
 - WALL TYPE NOTE
 - ROOM NAME AND NUMBER
 - WINDOW TYPE (SEE SHEET A601)
 - PLAN NOTE
 - DETAIL OR SECTION NUMBER
 - SHEET WHERE DRAWN
 - DOOR NUMBER (SEE SHEET A601)
 - DIMENSION TO FACE OF STUD
 - DIMENSION TO GRID LINE
 - INDICATES ROOF SLOPE
 - IF NO SLOPE IS LISTED ASSUME 1/4" PER 12" MIN. SLOPE ALL CRICKETS TO DRAIN - ROOF DRAIN SUMPS SLOPE 1/2" PER 12"
 - FE FIRE EXTINGUISHER IN CABINET
 - FE (B) FIRE EXTINGUISHER WALL AND BRACKET MOUNTED

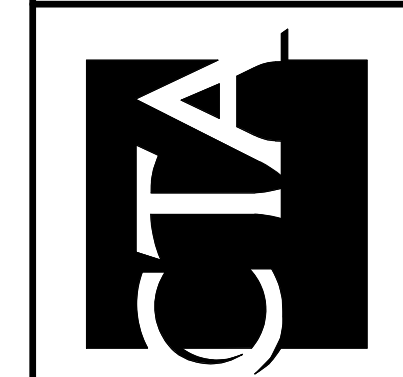
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8TH AND MAIN TOWER
CORE AND SHELL

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MECHANICAL
PENTHOUSE
FLOOR PLAN

SHEET
A108