



Planning & Development Services

Boise City Hall, 2nd Floor
150 N. Capitol Boulevard
P. O. Box 500
Boise, Idaho 83701-0500

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9

CUP14-00008 / Hackamore, LLC

Summary

Conditional use permit for a 16-unit residential development on 1.21 acres located at 8743 W. Hackamore Drive in a C-3D/DA (Service Commercial with Design Review and Development Agreement) zone.

Prepared By

Joshua Johnson

Recommendation

Approval of CUP14-00008.

Reason for the Decision

Conditional Use Permit

The project is compatible with surrounding uses. It is located in an area with single-family residential, office, and retail all within walking distance. It meets all setback, parking, and open space requirements. The project will not adversely affect any neighboring land uses. The nearest properties are commercial and residential uses. Both of these will not be impacted by a residential development. The four-plexes will not impact the privacy of any residences in the vicinity. They are two-story structures not located within close proximity to any other residential uses. The project complies with the Comprehensive Plan. *Infill Design Principle Neighborhood 1* speaks to transitions in building mass and height. The applicant is proposing two-story 4-plexes. The closest single-family residences are located 90' to the southwest. The development does not place an undue burden on the transportation system or any other public services. Traffic counts demonstrate additional vehicle trips from this project will not decrease the service levels of any roadways of the vicinity.



CUP14-00008

1" = 300'



Pine Grove Park



R-1C

R-1C

R-2D

R-2

W Teakwood Dr

S Allante Pl

W Hackamore Dr



R-1A

C-3D/DA

L-OD

L-OD/DA

W Barnes Dr

W Barnes St

S Allante Ave

C-4D

S Maple Grove Rd

S Chase St

A-1

C-2D

S Vinnell Way

W Blackeagle Dr

C-2D

R-1A

R-1C

C-4D/DA

S Bird St

CUP14-00008

1" : 300'



W Teakwood Dr

R-1A

L-OD

L-OD/DA

W Barnes Dr

W Barnes St

S Maple Grove Rd

L-OD

W Blackeagle Dr

C-4D/DA

C-2D

R-1A

S Allante Pl

S Allante Ave

C-3D/DA

S Chase St

R-1C

S Bird St

A-1

C-2D

W Hackamore Dr

C-4D

S Vinnell Way

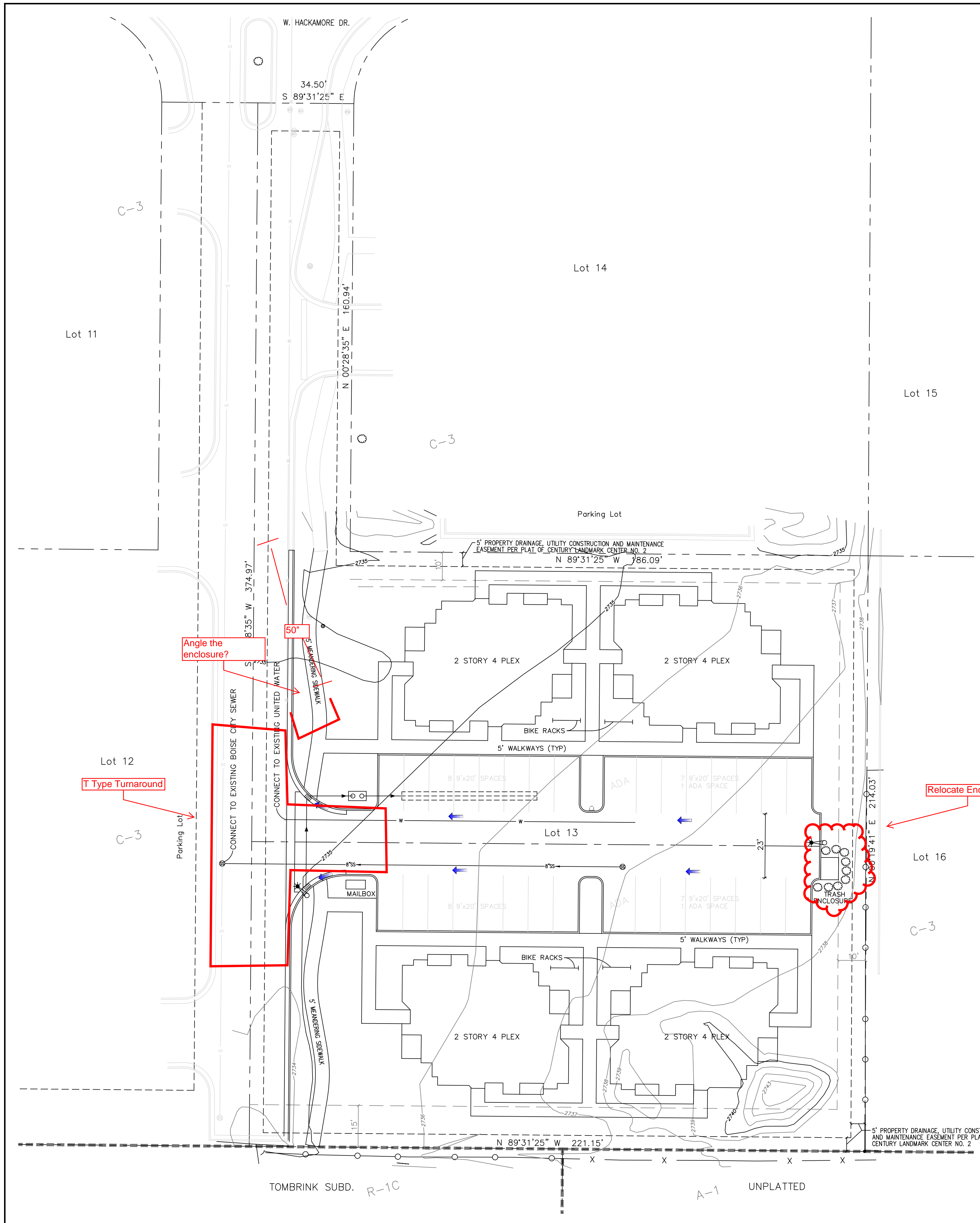


R-1C

R-1C

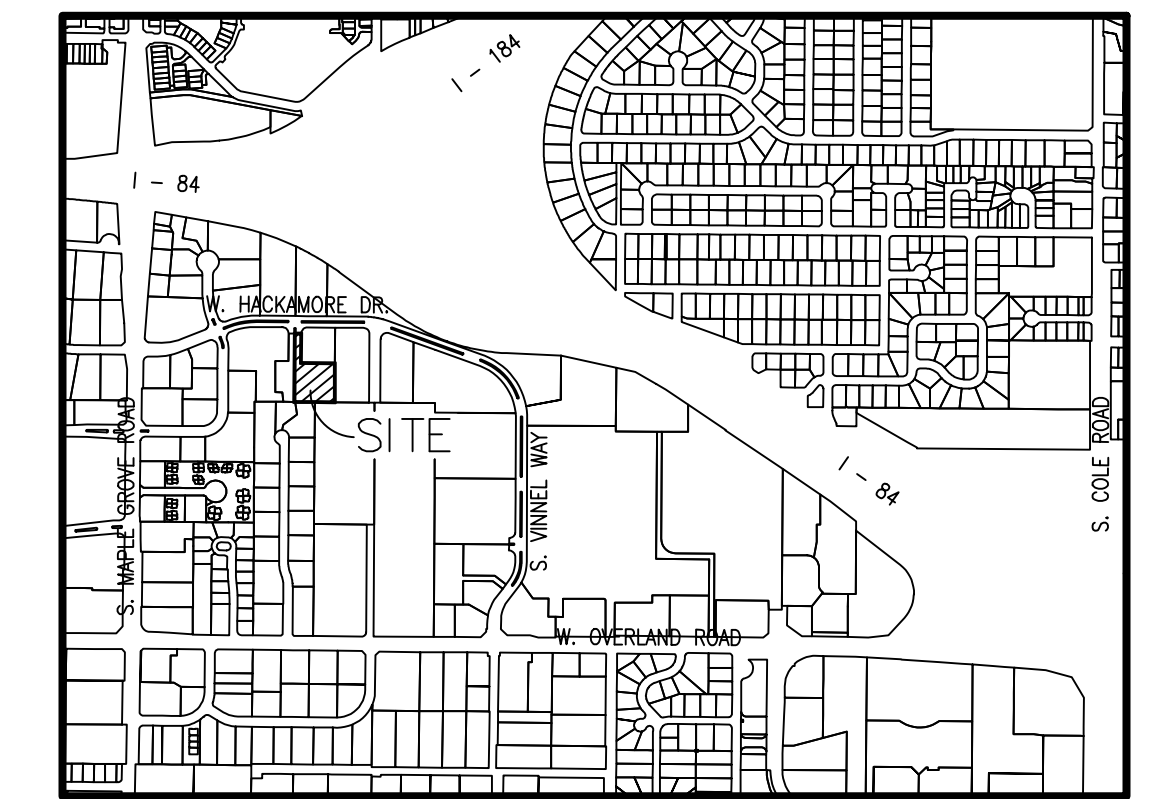
R-2D

R-2



SITE DATA

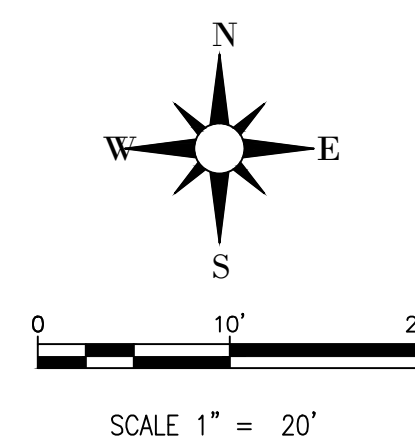
PROPERTY ADDRESS	8743 W. HACKAMORE DR.
ASSESSOR'S PARCEL NO.	R1343790125
SITE AREA	1.213 ACRES
ZONING	C-3
BUILDINGS PROPOSED	4
UNITS PROPOSED	16
DENSITY	13.2 DU/ACRE
PARKING REQUIRED	26 SPACES
PARKING PROVIDED	32 SPACES
ADA PARKING	2 SPACES
BIKE RACKS	4
SETBACKS	
FRONT	20'
REAR	15'
SIDE	10'



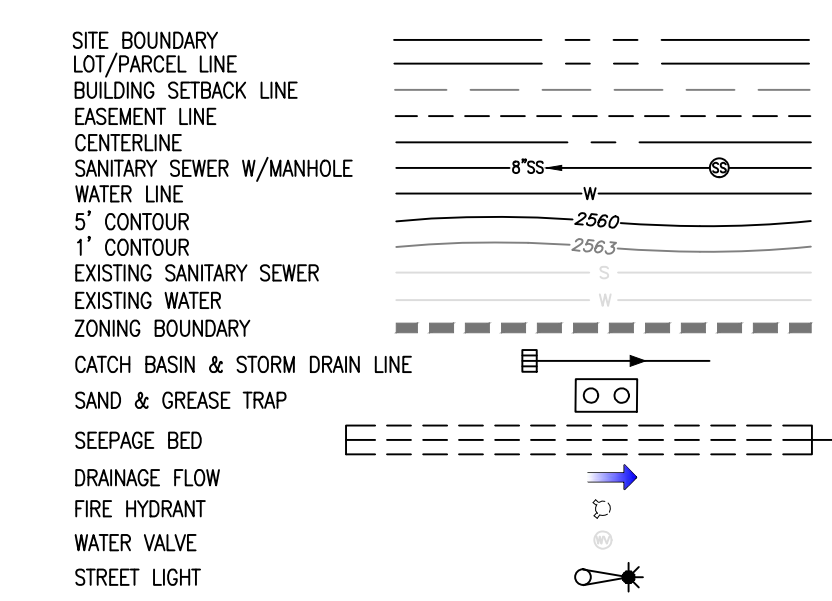
VICINITY MAP
N.T.S.

NOTES

1. UNITED WATER AND BOISE CITY SEWER SERVICE SHALL BE EXTENDED TO SERVE ALL UNITS.
2. STORM DRAINAGE SHALL BE RETAINED ON SITE THROUGH SUBSURFACE FACILITIES AS APPROVED BY ACHD.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC).
4. THERE ARE NO EXISTING STRUCTURES ON THE SITE.
5. THE SITE RECEIVES SERVICE FROM AN EXISTING PRESSURE IRRIGATION SYSTEM IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805.



LEGEND



OWNER OF RECORD
JON P AND CECILY S COOPER
10 BEAR TOWN
HORSESHOE BEND, ID

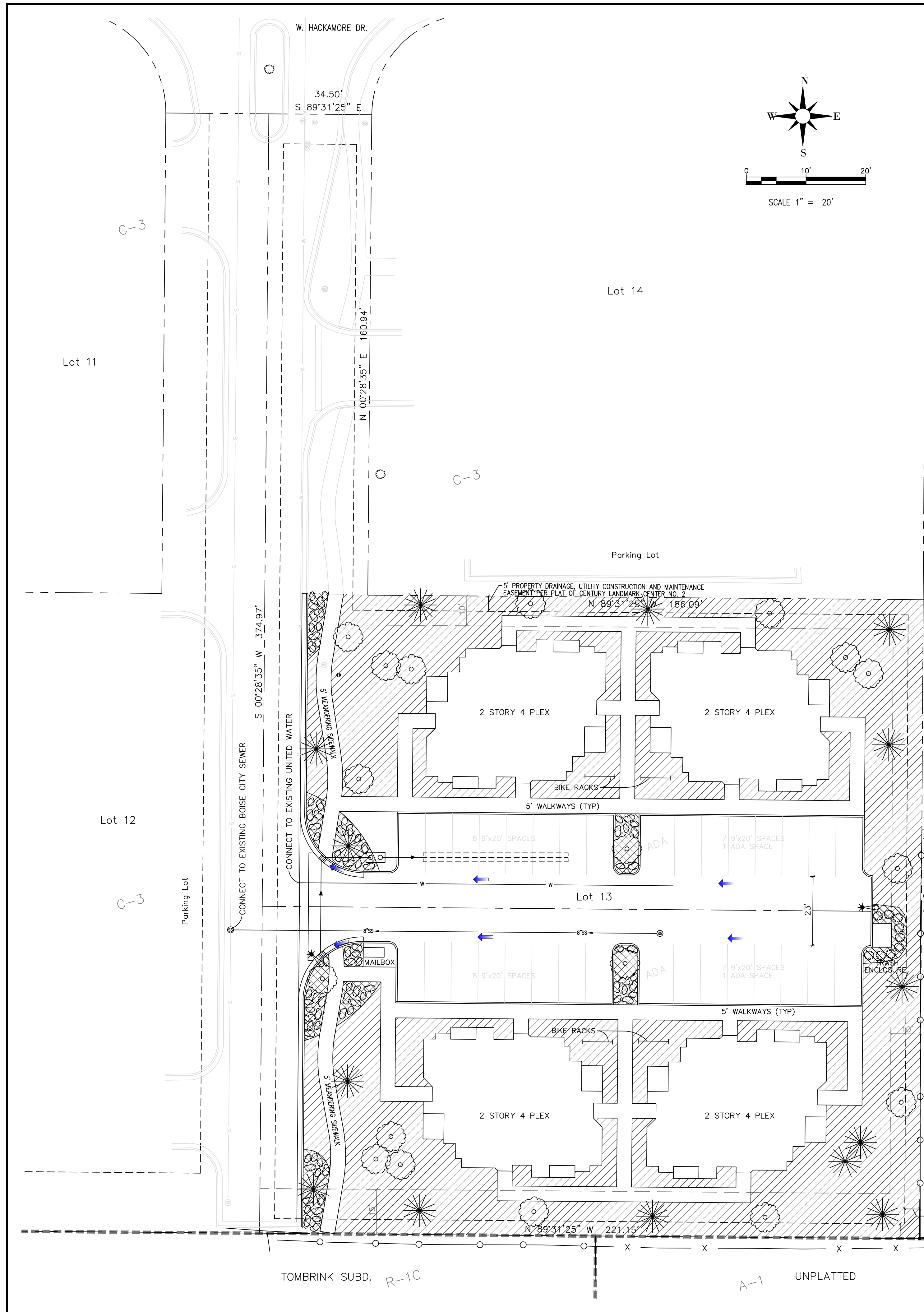
DEVELOPER
HACKAMORE LLC
1341 S. SPRING VALLEY DR.
NAMPA, ID 83686

PLANNER / CONTACT
STEVE ARNOLD
A-TEAM LAND CONSULTANTS
1785 WHISPER COVE AVE.
BOISE, ID 83709
208-871-7020

**PROPOSED SITE PLAN
LANDMARK APARTMENTS**

LOT 13, BLOCK 2, CENTURY LANDMARK CENTER NO. 2
SW 1/4 SECTION 13, T.3N., R.1E., B.M.
CITY OF BOISE, ADA COUNTY, IDAHO

	SHEET 1 OF 1
	DRAWN BY: <u> </u>
	DATE: <u>02/10/14</u>



TREE PLANTING NOTES

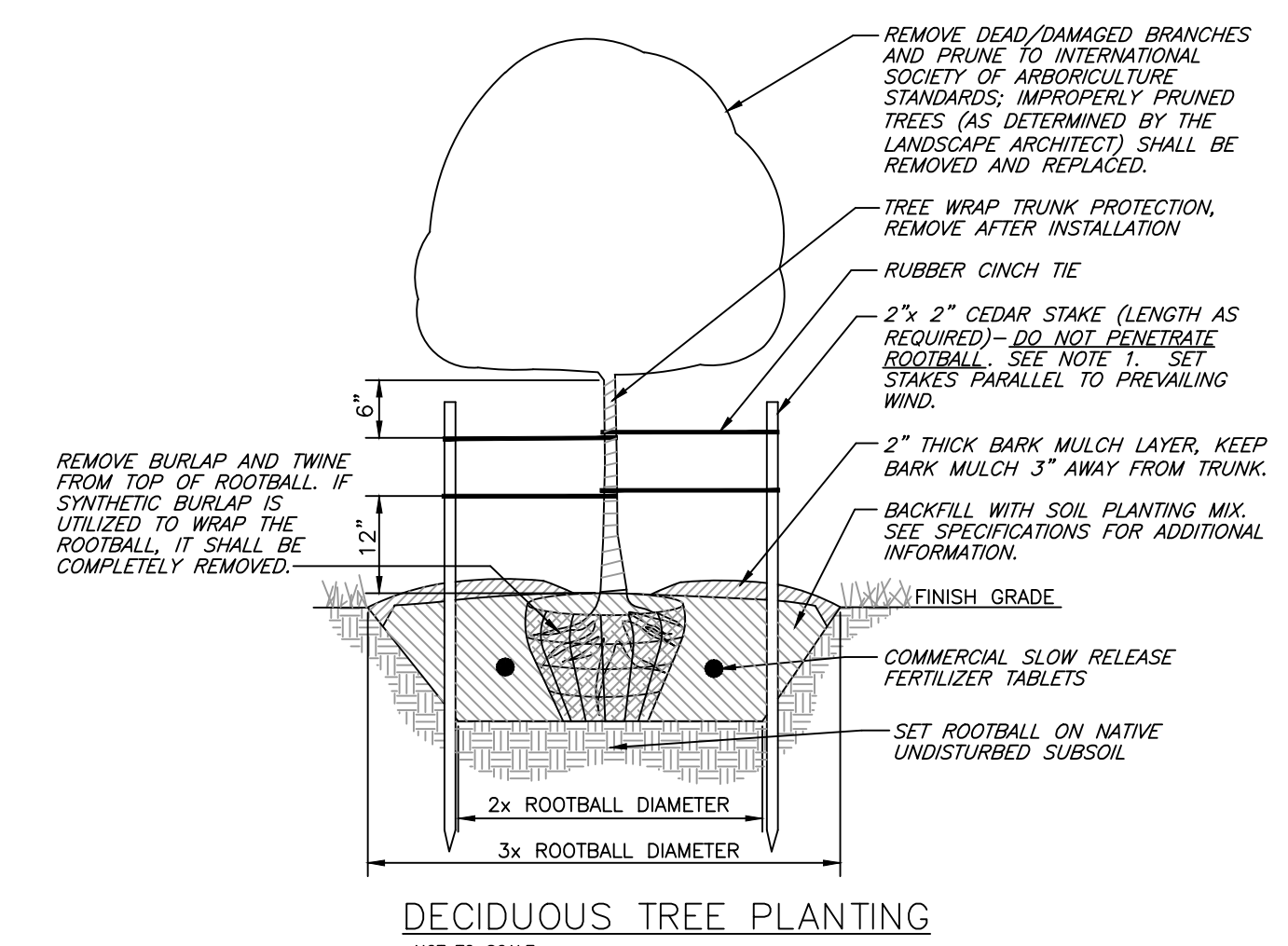
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
2. REMOVAL OF BURLAP AND TWINE FROM TOP OF ROOTBALL MAY BE POSTPONED FOR 90 DAYS AT CONTRACTOR'S OPTION.
3. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
5. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE. DEEP SOAK TREE TWICE WITHIN THE FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

LANDSCAPE & IRRIGATION NOTES:

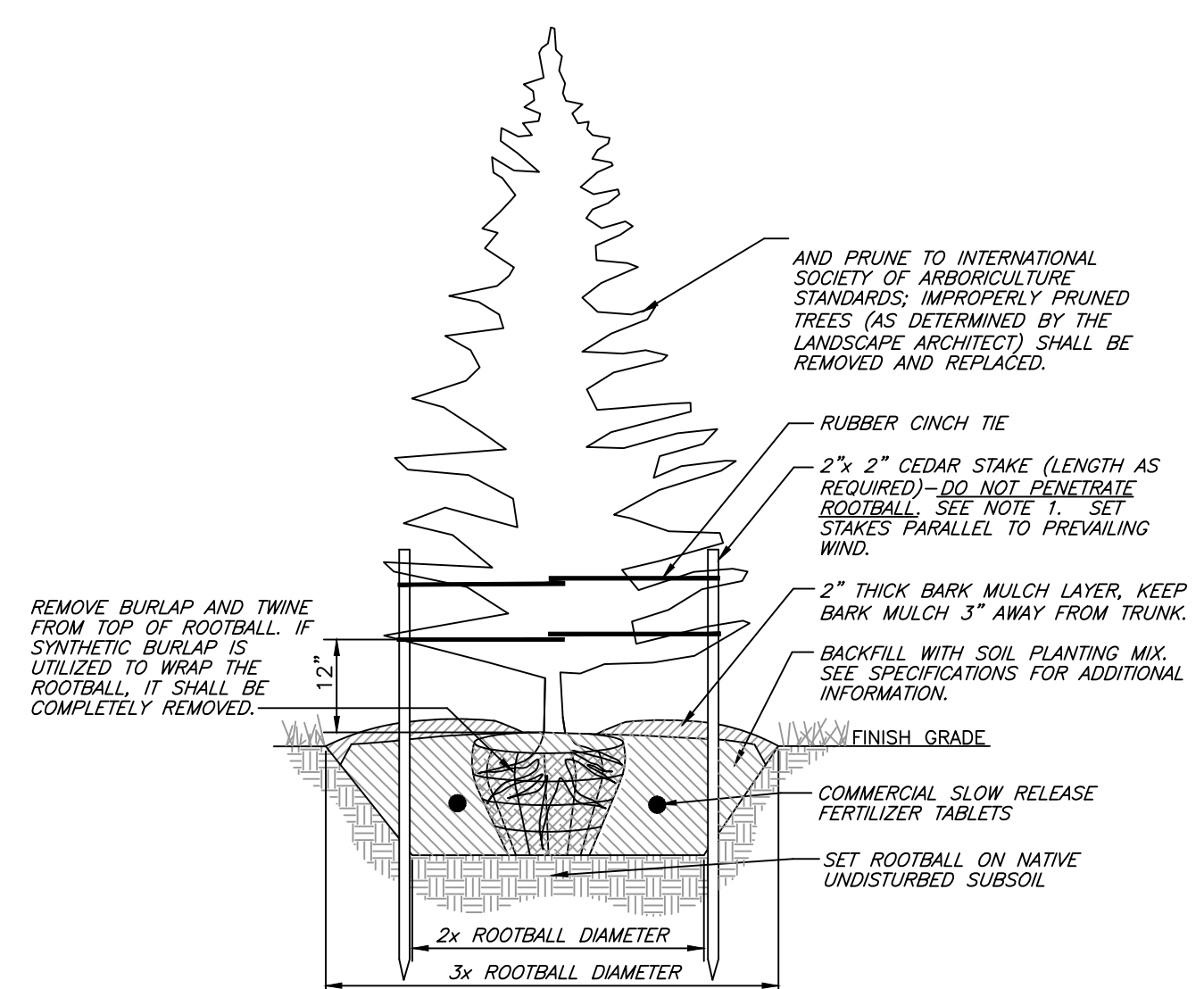
1. Contractor shall report to landscape architect all conditions which impair and/or prevent the proper execution of this work prior to beginning work.
2. Coordinate work schedule and observations with landscape architect prior to construction start-up.
3. New conifer and deciduous tree planting, see detail B and C/L1.0. Contractor shall stake all trees deemed necessary, i.e., from being blown over, planted with loose root ball, etc. Contractor's option.
4. New shrub planting. See detail A/L1.0.
5. All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition.
6. All planting beds shall be covered with a minimum of 3" of small (1" minus) bark chips. Submit for approval.
7. All plant material shall be guaranteed for a period of one year beginning at the date of acceptance by Owner. Replace all plant material found dead or not in a healthy condition immediately with the same size and species at no cost to the Owner.
8. Finish grades to be smooth and even gradients with positive drainage in accordance with site grading plan.
9. In all planter bed and lawn areas, the top 6 inches of topsoil will be amended at a ratio of 3 cubic yards of organic matter per 1000 square feet. Reto-till organic matter a minimum of 6 inches into topsoil.
10. Fertilize all trees and shrubs with 'Agrifom' planting tablets. Quantity per manufacturer's recommendations.
11. All planting beds shall have a minimum of 18" of topsoil. Lawn areas shall have a minimum of 12" topsoil. Spread, compact and fine grade topsoil to a smooth and uniform grade 3" below surface of walks and curbs in planting bed areas, 1 1/2" at sod lawn areas, and 1" at seed lawn areas.
12. Reuse existing surface topsoil stockpiled on the site. Verify suitability of surface soil to produce topsoil meeting requirements and amend when necessary. Topsoil shall be a loose, friable, sandy loam, clean and free of toxic materials, noxious weeds, weed seeds, grass or other foreign material and a pH of 5.5 to 7.0. If on-site topsoil does not meet these minimum standards, contractors are responsible to either: a) provide approved imported topsoil, or b) improve on-site topsoil with methods approved by landscape architect. Supplement with imported topsoil when quantities are insufficient. Clean topsoil of roots, plants, sods, stones, clay lumps and other extraneous materials harmful to plant growth. If imported topsoil from off-site sources is required, provide new topsoil that is fertile, friable, natural loam, surface soil, reasonably free of subsoil, clay lumps, brush, weeds and other litter, and free of roots, stumps, stones larger than 2 inches in any dimension, and other extraneous or toxic matter harmful to plant growth.
 - a. Obtain topsoil from local sources or from areas having similar soil characteristics to that found at project site. Obtain topsoil only from naturally, well-drained sites where topsoil occurs in a depth of not less than 4 inches.
 - b. Representative samples shall be tested for acidity, fertility and general texture by a recognized commercial or government agency and copies of the testing agency's findings and recommendations shall be furnished to the Architects representative by the contractor. No topsoil shall be delivered in a frozen or muddy condition. Acidity/alkalinity range - Ph. 5.5 to 7.6.
13. Immediately clean up any topsoil or other debris on the site created from landscape operations and dispose of properly off site.
14. All landscaped areas shall have an automatic underground sprinkler system which insures complete coverage and properly zoned for required water uses. Each hydrozone is to be irrigated with separate individual stations.
15. Planter beds and lawn areas are to have separate hydro-zones.
 - Sufficient multiple cycles to avoid water run-off
 - Power failure backup for all programed individual valved watering stations will be designed and installed to provide water to respective hydro-zones.
16. Pop-up sprinkler heads shall have a minimum riser height of 4 inches at lawn areas and 18" at planter beds.
17. Planter beds are to have drip irrigation systems or pop-up spray systems. Annuals, perennials ground covers or shrub massings shall have a pop-up spray system.
18. Electronic water distribution/ timing controllers are to be provided. Minimum controller requirements are as follows:
 - Precise individual station timing
 - Run time capabilities for extremes in precipitation rates
 - At least one program for each hydrozone
 - Sufficient multiple cycles to avoid water run-off
 - Power failure backup for all programed individual valved watering stations will be designed and installed to provide water to respective hydro-zones.

PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS SHADE TREES			
AG	Acer glabrala 'Flame' Multi-stem	Flame Maple	2" CAL. B&B
AR	Acer rubrum 'Red Sunset'	Red Sunset Maple	2" CAL. B&B
AT	Acer truncatum x Acer platanoides	Norwegian Sunset Maple	2" CAL. B&B
BN	Betula nigra 'Heritage'	Heritage River Birch	2" CAL. B&B
CB	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2" CAL. B&B
FA	Fraxinus americana 'Lunging'	Autumn Purple Ash	2" CAL. B&B
FP	Fraxinus pennsylvanica 'Urbane'	Urbane Ash	2" CAL. B&B
FR	Fraxinus pennsylvanica 'Palmore'	Palmore Ash	2" CAL. B&B
GT	Gleditsia triacanthos 'Inermis Skycole'	Skyline Honeylocust	2" CAL. B&B
LS	Liquidambar styraciflua	Tulip Tree	2" CAL. B&B
LT	Liquidambar styraciflua	Sweetgum	2" CAL. B&B
ORNAMENTAL FLOWERING TREES			
CC	Cercis canadensis	Eastern Redbud	2" CAL. B&B
MP	Malus 'Royalty'	Royalty Crabapple	2" CAL. B&B
MS	Malus 'Spring Snow'	Spring Snow Crabapple	2" CAL. B&B
PC	Pyrus calleryana 'Charicleer'	Charicleer Pear	2" CAL. B&B
PS	Prunus serrulata 'Royal Burgundy'	Royal Burgundy Cherry	2" CAL. B&B
CONIFEROUS TREES			
PN	Pinus nigra	Austrian Pine	6"-7" B&B
PI	Picea abies	Norway Spruce	6"-7" B&B
SHRUBS/PERENNIALS/ORNAMENTAL GRASSES			
BT	Berberis thunbergii atropurpurea 'Crimson Pyram'	Crimson Pyram Barberry	#2
CA	Callunetum x acutifolia 'Karl Foerster'	Ivory Halo Dogwood	#1
CI	Cornus alba 'Dogwood'	Ivory Halo Dogwood	#1
CS	Cornus sericea 'Kelsey'	Kelsey Dogwood	#5
FS	Fagus sylvatica 'Purpurea Pendula'	Weeping Purple Beech	4" HT. B&B
OS	Osmanthus fragrans	Blondy Osmanthus	#1
HB	Heuchera 'Beauty of Color'	Beauty of Color Coral Bells	#1
HE	Helictotrichon sempervirens 'Saphiresand'	Sapphire Fountain Blue Out Grass	#1
HS	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#1
HO	Hosta x 'Patrol'	Patrol Plantain Lily	#1
MR	Muhlenbergia repens	Cresting Muhlenbergia	#2
PA	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#1
PM	Pinus mugo pumilio	Dwarf Mugo Pine	#5
RN	Rosa x 'Nosted'	Yellow Flower Carpet Groundcover Rose	#2
RP	Rhododendron x 'P.J.M.'	P.J.M. Rhododendron	#5
SB	Spiraea bumalda 'Goldflame'	Goldflame Spiraea	#1
SI	Iris siberica 'Caesar's Brother'	Caesar's Brother Siberian Iris	#1
SN	Sambucus nigra 'Black Beauty'	Black Beauty Elderberry	#5
TC	Taxus x media 'Densiformis'	Dense Spreading Yew	#5
WF	Weigela florida 'Variegata Nana'	Variegated Weigela	#5



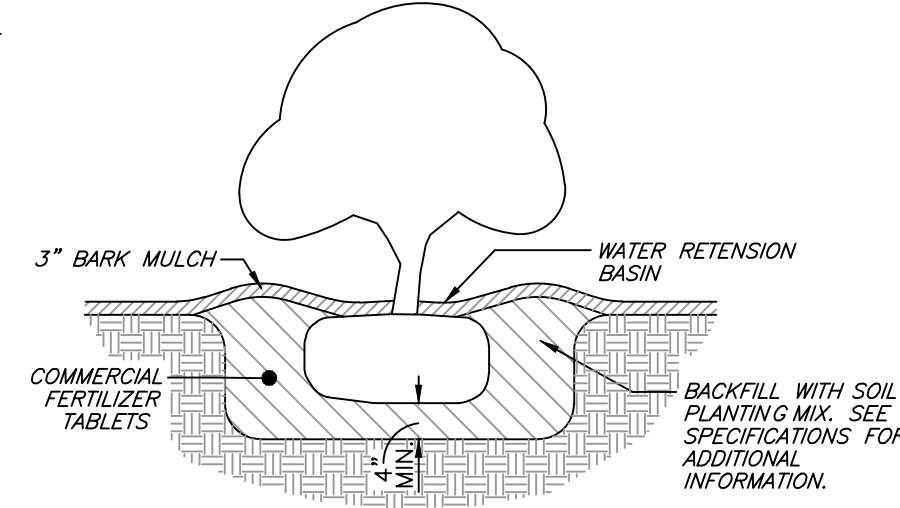
DECIDUOUS TREE PLANTING
NOT TO SCALE



CONIFEROUS TREE PLANTING
NOT TO SCALE

LANDSCAPE LEGEND

- DECIDUOUS TREE
- CONIFEROUS TREE
- LAWN AREA (SOD)
- SHRUB/PLANTER AREA



SHRUB PLANTING
NOT TO SCALE

LANDSCAPE DESIGNER
POWER ENTERPRISES
16131 FRANKLIN BLVD
NAMPA, ID 83687

OWNER OF RECORD
JON P AND CECILY S COOPER
10 BEAR TOWN
HORSESHOE BEND, ID 83629

DEVELOPER
HACKAMORE LLC
1341 S. SPRING VALLEY DR.
NAMPA, ID 83686

PLANNER / CONTACT
STEVE ARNOLD
A-TEAM LAND CONSULTANTS
1785 WHISPER COVE AVE.
BOISE, ID 83709
208-871-7020

PROPOSED LANDSCAPE PLAN
LANDMARK APARTMENTS
LOT 13, BLOCK 2, CENTURY LANDMARK CENTER NO. 2
SW 1/4 SECTION 13, T.3N., R.1E., B.M.
CITY OF BOISE, ADA COUNTY, IDAHO

A Team Land Consultants
Committed to You!
SHEET 1 OF 1
DRAWN BY: [Signature]
DATE: 02/10/11
FILE: [Signature]

GENERAL NOTES

SHEET KEYNOTES

1. FIBER CEMENT LAP SIDING W/ WOOD GRAIN FINISH AND 5" EXPOSURE. PAINT.
2. FIBER CEMENT "BOARD & BATTEN" STYLE SIDING PANELS W/ WOOD GRAIN FINISH. PAINT.
3. FIBER CEMENT 4" TRIM W/ WOOD GRAIN FINISH. TYPICAL AT CORNERS, JOINTS, AND OPENINGS. PAINT.
4. FIBER CEMENT 10" TRIM. PAINT.
5. FIBER CEMENT FASCIA BOARD W/ WOOD GRAIN FINISH. PAINT.
6. ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 15LB ASPHALT PAPER.
7. ROOF LOUVER. SEE ROOF PLAN FOR DETAILS.
8. CIRCULAR WALL LOUVER, 20" DIA. PAINT.

stamp:

revisions:

no. remarks



2 UNIT "A" ENTRY ELEVATION - UNIT "B" PATIO ELEVATION
SCALE: 1/4" = 1'-0"



1 UNIT "B" ENTRY ELEVATION - UNIT "A" PATIO ELEVATION
SCALE: 1/4" = 1'-0"

CANTABRIA FOURPLEX
STANDARD PLAN
BOISE, IDAHO

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HOUSTON ■ BUGATSCH
ARCHITECTS, CHARTERED
1307 N. 39TH STREET
NAPAVIC, IDAHO 83687
PH. (208) 465-3419 FAX (208) 442-3942

checked --

date 05/20/13

drawn BNS

job no. --

issued for BOISE CITY

sheet title:

EXTERIOR
ELEVATIONS

sheet number:

A2.0

SQUARE FOOTAGE	
GROUND FLOOR:	2,183 S.F.
UPPER FLOOR:	1,482 S.F.
TOTAL S.F. =	3,665 S.F.

stamp:	
revisions:	
no.	remarks

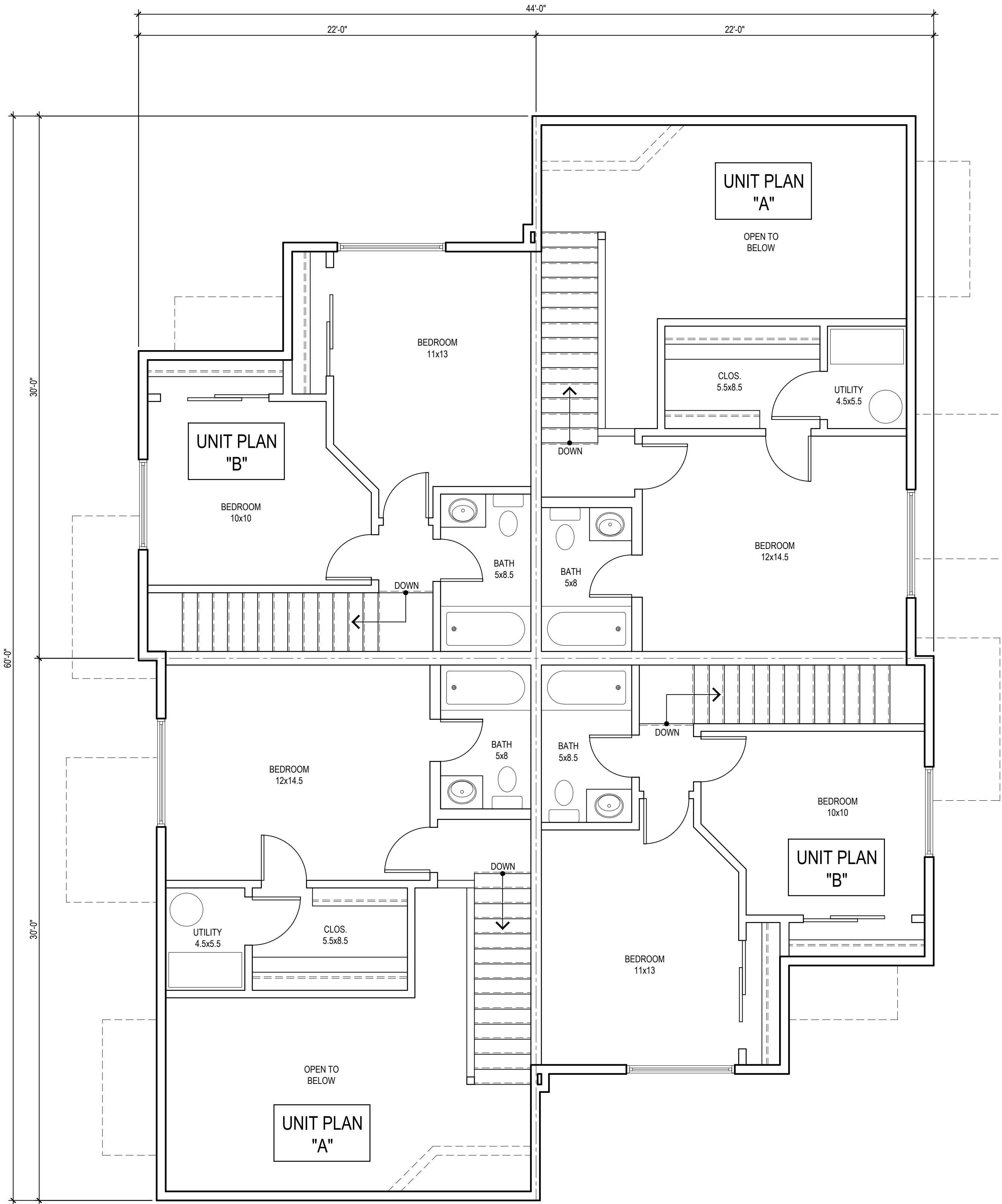
**VILLAGE CHATON SUBDIVISION
STANDARD FOURPLEX PLAN**
 MERIDIAN, IDAHO

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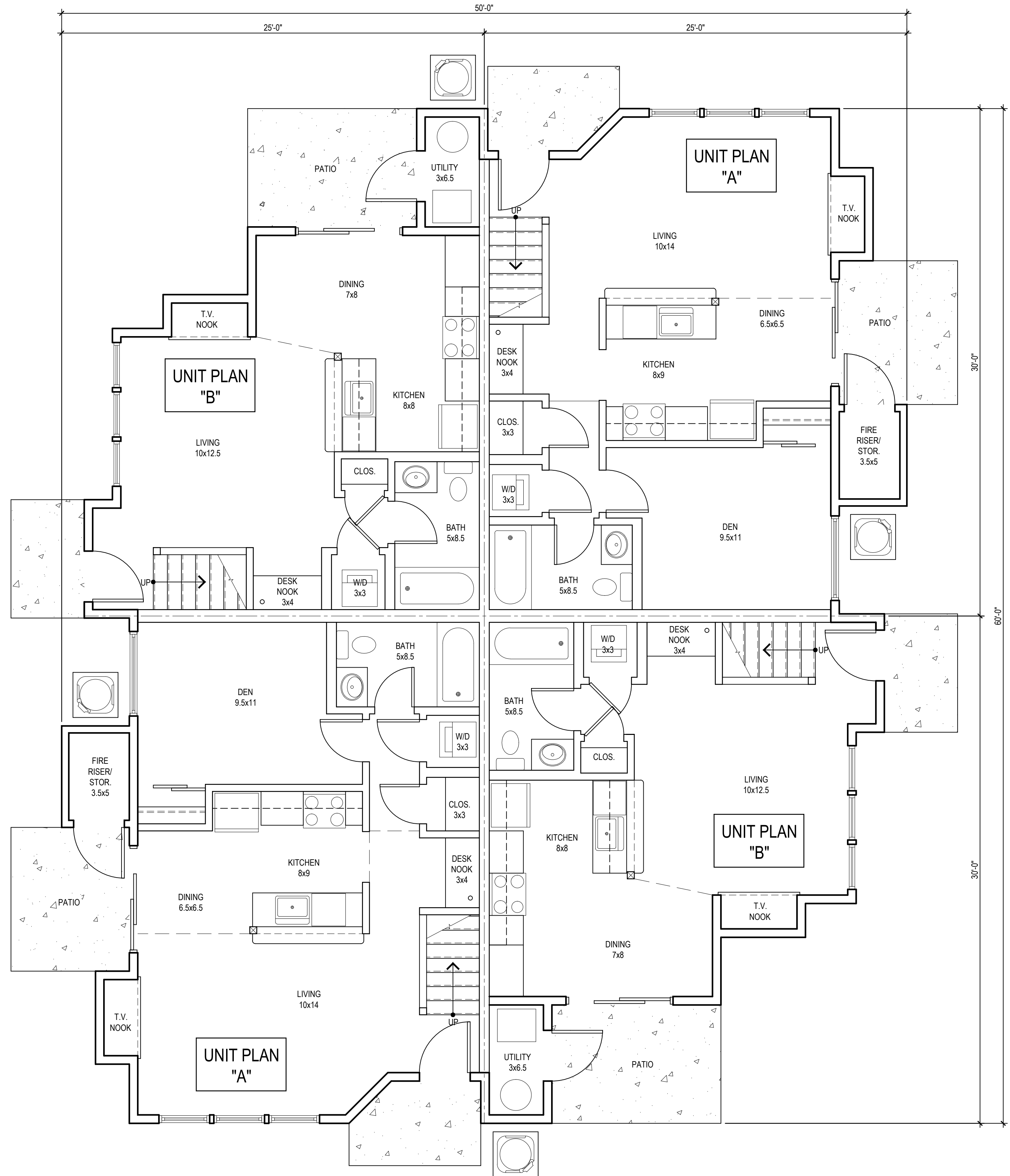
HOUSTON • BUGATSCH
ARCHITECTS, CHARTERED
 1307 N. 30TH STREET
 TWIN FALLS, IDAHO 83403
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checked	--
date	07/26/13
drawn	BNS
job no.	--
issued for	MERIDIAN

sheet title:
FLOOR PLANS
 sheet number:
A1.0



2 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



February 25, 2014

Ms. Andrea Tuning, Design Review Planner
City of Boise
150 N. Capitol Boulevard
Boise, Idaho 83701

Dear Andrea:

Subject: Landmark Apartments

On behalf of Hackamore LLC, A Team Land Consultants presents to the City of Boise a Conditional Use and Design review application for the proposed Landmark Apartments. The subject property is located on the south side of Hackamore Drive, approximately ¼ mile east of Maple Grove. The property contains 1.213 total acres and is identified as Ada County Assessor's Tax Parcel Number R1343790125.

Project Summary

The applicant is proposing four 4-plex buildings. The site is currently zoned C-3D/DA, which allows for multifamily and commercial uses. The development agreement for this site specifically allows for multifamily development. There are 16 units being proposed which calculates a gross density of 13.2 dwelling units per acre. The site has 35-feet of frontage along Hackamore Drive, and utilizes a shared driveway with the parcels to the west and north.

Proposed Buildings

As part of the application we are submitting color photographs of the proposed buildings. The color combination for the buildings will be a mixture of earth tones as shown on the submitted pictures. The fascia and trim will be designed in such a way as to better accent the earth tones. Variations in wall panels and rooflines are provided to also add architectural amenities to the buildings appearance. All of the buildings will be constructed to a minimum of a Silver LEED standard, thus providing energy efficiency. This in turn allows the mechanical units to be constructed smaller. Two foot fencing will be provided to screen the mechanical units.

The buildings and the facades are architecturally attractive and function very to promote either an owner occupied building or a high end rental unit. Each of the units is two stories with its own individual entrance on each side of the building. Pathways are provided from the parking area to each individual entrance, thus

giving the owner/renter the feel of a private entrance. The builder has a copyright on the architectural design, these are very attractive units, built by a reputable builder.

Landscaping and Buffering

A landscape plan has been prepared in accordance with the City standards. There is a proposed 10-foot buffer along the north and east side of the site, and along the south boundary adjacent to the R-1C and A-1 property we are proposing a 15-foot buffer. Extensive screening will be provided to give the residence a private feel to the site. The trash enclosures will be screened to reduce their visibility. There will be sidewalks provided throughout the site, in addition to extending the sidewalk that connects to Hackamore Drive. In addition to the sidewalks, bike racks are provided to provide alternatives to vehicular traffic. At the request of the property owner to the north, we will provide a fence adjacent to the property line to discourage younger children to play in their parking facility. It is the intention of the developer to install landscaping that exceeds the City requirements and provide a nice amenity to the residents.

Utilities, Irrigation, Storm Drainage and Parking Facilities

There are existing wet and dry utilities adjacent to this site's west and north property line. The developer is proposing to extend both sewer and water from the west into this development. Dry utilities will also be extended into this site to all building lots. Portions of the common areas will be utilized for storm drain, subsurface seepage beds will dispose of the storm water. Pressurized irrigation is proposed to all common areas.

There are 24 required parking stalls and one ADA required. This development is providing 32, stalls and two ADA stalls. This is to ensure adequate parking for all residents and their visitors. There will be two bike racks provide to encourage alternatives to vehicular use. The drive isles will be designed to City and Fire standards. All storm drain will be designed to accommodate the 100 year event. During the construction of the site, a storm water pollution prevention plan will be provided and best management practices will be implemented. Eight foot planters are provided between parking areas for solar shading purposes.

Neighborhood Meetings

There was a neighborhood meeting conducted prior to submitting this application on February 18, 2014. The property owner immediately to our north showed up and expressed concern with young children playing in their parking area. To address this concern, the applicant proposes to construct a fence along the north boundary of the site. There were no other property owners or concerns at that meeting.

Vision Statement

This site is centrally located in an area of the City that has been developed with residential and commercial uses surrounding this site. There are entertainment and employment centers very close in proximity to the proposed development. The proposed development will provide the needed housing for the adjacent uses. The building types provided are superior to the majority of multifamily developments of this nature. With the landscaping and screening provided the residents of this development will have a private feel, and the neighboring uses will have little impact from this site. This development will enhance the community and the project will be an asset to the City.

It is anticipated that the applications are in compliance with all applicable plans and codes adopted by the City. Please notify us as early as possible if you should need additional clarification or information regarding this application. The proposed development will be a great addition to the City. I look forward to working with the City as this development moves forward in the process.

Sincerely,
A Team Land Consultants



Steve Arnold
Project & Real Estate Manager

Cc: Dave Scaggs

#109: Conditional Use Application

Case #: CUP14-00008

Property Information

Address

Street Number: 8743	Prefix: W	Street Name: HACKAMORE DR	Unit #: 			
Subdivision name: CENTURY LANDMARK CENTER #2	Block: 2	Lot: 13	Section: 13	Township: 3	Range: 1	Zoning: C-3D/DA
Parcel Number: R1343790125	Additional Parcel Numbers: 					

Primary Contact

Who is responsible for receiving e-mail, uploading files and communicating with Boise City?

Agent/Representative Applicant Owner

Applicant Information

First Name: Dave	Last Name: Scaggs		
Company: Hackamore LLC			
Address: 1341 S. Spring Valley Dr	City: Nampa	State: ID	Zip: 83686
E-mail: dscaggs@cableone.net	Phone Number: (208) 371-4039	Cell: (208) 371-4039	Fax:

Agent/Representative Information

Role Type: Architect Land Developer Engineer Contractor Other

First Name: Steve	Last Name: Arnold		
Company: A Team Land Consultants			
Address: 1785 S. Whisper Cove Ave	City: Boise	State: ID	Zip: 83709
E-mail: Steve@Ateamboise.com	Phone Number: (208) 321-0525	Cell: (208) 871-7020	Fax: (208) 401-0977

Owner Information

Same as Applicant?: No Yes (If yes, leave this section blank)

First Name: Jon & Cecily	Last Name: Cooper		
Company: Land Owners			
Address: 10 Bear Town	City: Horseshoe Bend	State: ID	Zip: 83629
E-mail: Brad@thesmackgroup.com	Phone Number: (208) 287-8773	Cell: 	Fax:

Project Information

Is this a Modification application?

Yes

No

File number being modified:

1. Neighborhood Association:

2. Comprehensive Planning Area:

3. This application is a request to construct, add or change the use of the property as follows:

4. Size of Property:

 Acres Square Feet

5. Water Issues:

A. What are you fire flow requirements? (See International Fire Code):

gpm

B. Number of hydrants (show location on site plan):

Note: Any new hydrants/hydrant piping require United Water approval.

Number of Existing: Number of Proposed:

C. Is the building "sprinklered"? Yes No

D. What volume of water is available? (Contact United Water of Idaho at 362-7330):

gpm

6. Existing uses and structures on the property are as follows:

7. Is the project intended to be phased? Please explain:

8. Adjacent property information:

Building types and/or uses	Zone
North: Commercial/office	North: (C-3D) Service Commercial w/Design R
South: Single Family/Bar	South: (A-1) Open Land 1 Acre minimum lot s
East: Commercial/Office	East: (C-3D) Service Commercial w/Design R
West: Commercial/office	West: (C-3D) Service Commercial w/Design R

9. Proposed Structures:

A. Number of Structures: Use:

Square footage of proposed structures or additions (if 5+ floors, attach narrative with chart):

	Gross Square Feet
1st Floor	<input type="text" value="2183"/>
2nd Floor	<input type="text" value="1482"/>
3rd Floor	<input type="text" value="0"/>
4th Floor	<input type="text" value="0"/>

B. Maximum proposed structure height(s):

C. Number of stories:

D. Number of seats (if restaurant, tavern or lounge):

E. Number of residential units (if applicable):

10. Existing Structures:

Square footage of existing structures or additions (if 5+ floors, attach narrative with chart):

	Gross Square Feet
1st Floor	<input type="text"/>
2nd Floor	<input type="text"/>
3rd Floor	<input type="text"/>
4th Floor	<input type="text"/>

11. Building Exterior:

	Materials	Colors
Roof:	<input type="text" value="Asphalt Shingles"/>	<input type="text" value="Black"/>
Walls:	<input type="text" value="Horizontal Lap/wood grain"/>	<input type="text" value="mix of earth tones"/>
Windows/Doors:	<input type="text" value="vinyl/single hung"/>	<input type="text" value="white/beige"/>
Fascia, Trim, etc:	<input type="text" value="wood grain with horizontal Trim"/>	<input type="text" value="Mix of earth tones"/>
Other:	<input type="text"/>	<input type="text"/>

12. Setbacks:

Note: Plans that are not graphically dimensioned will not be accepted.

	Building Required	Building Proposed	Parking Required	Parking Proposed
Front:	<input type="text" value="20"/>	<input type="text" value="20"/>	<input type="text" value="20"/>	<input type="text" value="20"/>
Rear:	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Side 1:	<input type="text" value="10"/>	<input type="text" value="10"/>	<input type="text" value="10"/>	<input type="text" value="10"/>
Side 2:	<input type="text" value="10"/>	<input type="text" value="10"/>	<input type="text" value="10"/>	<input type="text" value="10"/>

13. Site Design:

	Site Percentage Devoted to	Square Feet
Building Coverage:	17 %	9166
Landscaping:	38 %	19861
Paving:	45 %	23799
Other Uses:		
Describe Other Uses:		

14. Parking:

	Required	Proposed
Accessible Spaces:	2	2
Parking Spaces:	26	32
Bicycle Spaces:	4	4
Proposed compact spaces:		

Are you proposing off-site parking? Yes No
If yes, how many spaces?

Are you requesting shared parking or a parking reduction? Yes No
If yes, how many spaces?

Restricted parking? Yes No

15. Landscaping:

A. Are there any prominent trees or areas of vegetation on the property? Yes No

B. Type:
C. Size:
D. General Location:

16. Mechanical Units:

Number of Units:
Unit Location:
Type:
Height:
Proposed Screening Method:

17. Solid Waste:

A. Type of trash receptacles:

- Individual Can/Residential
- 3 Yd. Dumpster
- 6 Yd. Dumpster
- 8 Yd. Dumpster
- Compactor

B. Number of trash receptacles:

1

C. Proposed screening method:

Trash Enclosure with approved Materials

D. Is the proposed location accessible for collection?
(Contact Boise Public Works at 384-3901.)

Yes No

E. Is recycling proposed?

Yes No

18. Irrigation Ditches/Canals:

A. Are there any irrigation ditches or canals on or adjacent to the property?

Yes No

B. Location:

C. Size:

19. Fencing:

	Proposed	Existing to Remain
Type:	Vinyl or Wood	None
Height:	6 ft	None
Location:	North Boundary	None

20. Loading Facilities (if proposed, for commercial uses only):

Number:	NA
Location:	NA
Size:	NA
Screening:	NA

21. Drainage:

Proposed method of on-site retention: Seepage beds/sand and grease trap

22. Floodways & Hillsides:

A. Is any portion of this property located in a Floodway or a 100-year Floodplain? Yes No

B. Does any portion of this parcel have slopes in excess of 15%? Yes No

Note: If the answer to either of the above is yes, you will be required to submit an additional #112 Floodplain and/or #114 Hillside application and additional fee.

23. Airport Influence Area:

Is the subject site located within the Airport Influence Area? (If yes, please mark which area.)

No Area A Area B Area B1 Area C

Verification of Legal Lot or Parcel Status

Acceptance of this application does not validate the legal status of any lot or parcel. Prior to submitting for a Building Permit you must have a Verification of Legal Parcel Status form signed by the Boise City Subdivision Department. It is the applicant's responsibility to provide deeds and/or other documentation to the Subdivision Department. See Verification of Legal Lot or Parcel Worksheet for submittal requirements.

The undersigned declares that the above provided information is true and accurate.

The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

Agent/Representative Signature:

Date:



Planning & Development Services

Boise City Hall, 2nd Floor
150 N. Capitol Boulevard
P. O. Box 500
Boise, Idaho 83701-0500

Phone: 208/384-3830
Fax: 208/384-3753
TDD/TTY: 800/377-3529
Website: www.cityofboise.org/pds

9

Planning Division Report

File Number CUP14-00008
Applicant Hackamore, LLC
Property Address 8743 W. Hackamore Drive

Public Hearing Date April 7, 2014
Heard by Planning and Zoning Commission

Analysts Josh Johnson
Reviewed by Cody Riddle

Public Notification

Neighborhood meeting conducted: February 18, 2014
Newspaper notification published on: March 22, 2014
Radius notices mailed to properties within 300 feet on: March 21, 2014
Staff posted notice on site on: March 7, 2014

Table of Contents

1. Project Data and Facts	2
2. Land Use	2
3. Project Proposal	3
4. Zoning Ordinance	3
6. Analysis/Findings	4
7. Recommended Conditions of Approval	7

Exhibits

Public Works Comments
ACHD Comments

1. Project Data and Facts

Project Data	
Applicant	Hackamore, LLC
Architect/Representative	Steve Arnold
Location of Property	8743 W. Hackamore Drive
Size of Property	± 1.21 Acres
Zoning	C-3D/DA (Service Commercial with Design Review with a Development Agreement)
Comprehensive Plan Designation	Commercial
Planning Area	Southwest
Neighborhood Association/Contact	Southwest Ada County Alliance (Betty Bermensolo)
Procedure	Planning and Zoning Commission decision that can be appealed to City Council.

Current Land Use/ Site Characteristics
The site is comprised of bare ground accessed from a service drive.

Description of Applicant's Request
The applicant requests approval of a 16-unit development made up of four, 4-plex units.

2. Land Use

Description and Character of Surrounding Area
The surrounding area is comprised of a variety of uses including office, retail, residential, and a hotel.

Adjacent Land Uses and Zoning

North:	Office / C-3D/DA
South:	Residential and Vacant Land / A-1 and R-1C
East:	Industrial / C-3D/DA
West:	Industrial / C-3D/DA

3. Project Proposal

Parking

Proposed		Required	
Handicapped spaces proposed:	2	Handicapped spaces required:	2
Total parking spaces proposed:	30	Total parking spaces required:	26
Number of compact spaces proposed:	0	Number of compact spaces allowed:	11
Bicycle parking spaces proposed:	16	Bicycle parking spaces required:	3
Parking Reduction requested?	No	Shared Parking	No

Setbacks

Yard	Required	Proposed for Building	Proposed for Parking*
Front (West)	10' (bldg.) 10' (prkg.)	56'	46'
Side (North)	0' (bldg.) 5' (prkg.)	15'	50'+
Side (South)	15' (bldg.) 10' (prkg.)	20'	50'+
Rear (East)	0' (bldg.) 10' (prkg.)	32'	15'

4. Zoning Ordinance

Section	Description
11-04-05.01(D)	Service Commercial (C-3) District
11-03-04.06	Conditional Use Permits
11-07-03	Off-Street Parking and Loading Standards

5. Transportation Data

Roadway	Frontage	Functional Classification	Daily Traffic Count	Current Level of Service	Existing Plus Project
Hackamore Drive	30'	Collector	4,150 east of Maple Grove on May 2, 2012	Better than "C"	Better than "C"
Maple Grove	0'	Minor Arterial	21,061 south of Hackamore on May 3, 2012	Better than "C"	Better than "C"
Vinnell Way	0'	Collector	6,298 north of Overland on May 3, 2012	Better than "C"	Better than "C"
Overland Road	0'	Principal Arterial	35,476 east of Milwaukee Street on May 3, 2012	Better than "E"	Better than "E"

Acceptable level for a five-lane principal arterial is Better than "E"

6. Analysis/Findings

The proposed project is a residential Planned Unit Development comprised of four 4-plex units. The property is zoned C-3D/DA and 52 units are the maximum allowed by the base zone. While the property has a development agreement, residential uses are allowed. Each 4-plex is two stories in height and each dwelling has its own ground level entrance. Two amenities are required by the code. The applicant will build the units to LEED Silver standards and 10% of the property's area outside of setbacks will be open space.

The concern with this project is lack of context to residential neighborhoods, parks or schools. The site is located in an office/commercial development and is accessed from a service drive. The property to the east is an office for an engineering company and many of their service vehicles are stored in the rear of the property. The office space directly to the north is also an engineering firm's office. The properties to the west are comprised of a medical office and a ballet studio. A multi-family residential use can be a good transition between the single-family to the south and the current office uses. The development agreement for this property and those to the west, north, and east allows: *Automobile Related Business, Bank/Financial Institution, Bottling and Distribution Plant, Child Care Centers (21+ Children), Church, Club, Lodge, Social Hall, Construction Business, Healthcare Facilities, Medical Laboratory, Laundry (Non-Industrial), Motel & Hotel, Newspaper & Printing Establishment, Offices, Radio and Television Stations, Recreation Facility (Commercial), Multiple Family Dwellings, Retail Uses, Restaurant, Schools, Storage (enclosed only), Warehouse, Tavern/Lounge, and Wholesale Business*. The current arrangement of mostly offices in the vicinity is not a concern for the newly proposed development as residential and office can traditionally coexist. Some of the more intense semi-industrial uses listed above could be a nuisance to future residents, but do require a conditional use permit. Examples include Bottling and Distribution Plant and a Wholesale Business. A tavern could not be installed closer than 300' to a residential use, so there will be built in spacing should one come to the area.

The primary concern is a retail business with no limits on hours of operation. This would be an allowed use with minimal review. It may be unlikely to occur since the immediately adjacent properties are located far from major roadways. To mitigate a possible retail business nearby, the applicant should work with design review to provide ample perimeter landscaping. This will help shield the property from some noise and visual impacts. There are no parks or schools in the immediate vicinity for additional open space opportunities beyond those provided on the site. There are ample shopping opportunities to the east and south. A suggested condition of approval will require a pedestrian pathway to the south where a vacant field zoned A-1 is located. This field could be rezoned for commercial or multi-family residential. The connection will allow residents of the project to walk to the nearby commercial businesses and the future Humane Society campus.

FINDINGS

Section 11-03-04.06 (C) 7 Criteria and Findings

The Commission, following the procedures outlined below, may approve a conditional use permit when the evidence presented at the hearing is such as to establish:

i. That the proposed use is compatible to other uses in the general neighborhood.

The 4-plex development is unique to the area and can exist harmoniously with surrounding uses. The neighborhood is currently comprised of office, retail and residential uses. The site is most related to an office development and takes its access off of a service drive that interfaces with Hackamore Street. While office uses are on three sides of the site now retail businesses could be installed with minimal review. To address this concern the applicant should work with Design Review on a more substantial amount of perimeter landscaping. The property interfaces with the rear yard of a single-family residence located to the southwest. There is over 90' of separation to prevent privacy concerns between the two uses. The new apartments may have issues being in the middle of a commercial development since there is no access to any parks or schools within walking distance. The site is within close proximity to strip commercial and the Wal-Mart complex located to the east. Nearby retail shopping could reduce vehicle trips on major roadways.

ii. That the proposed use will not place an undue burden on transportation and other public facilities in the vicinity.

ACHD issued a no comment letter on March 12, 2014. The project is expected to generate 106 new vehicle trips per day. Hackamore Drive, the primary road affected by this development will continue to operate at an acceptable level of service if this project is approved. The three other streets Overland, Maple Grove, and Vinnell will also continue to operate at acceptable levels of service. The subject property is a flag lot and has only 30' of street frontage on an improved street, Hackamore. The service drive is served by a meandering sidewalk and the applicant is proposing to continue this pattern to the southern property line. While a meandering walk is not preferred, the rest of the properties within the development are already using this design.

Public Works Solid Waste Division's memo dated February 28, 2014 notes the location of the dumpster is not acceptable as a garbage truck can't turnaround inside the development. A revised site plan shows the dumpster along the service drive and allows enough room for a turnaround. Dumpsters are not normally allowed in front of a project's buildings. In this case, the dumpster will be located along a service drive and will not be visible from a public street.

Other than those listed above, no public agency has voiced concerns with this request.

- iii. That the site is large enough to accommodate the proposed use and all yards, open spaces, pathways, walls and fences, parking, loading, landscaping and such other features as are required by this title.*

The project meets all setback and parking requirements. The project provides at least 10% of the lot area outside of setbacks as open space. The landscape plan will have to be modified prior to approval by Design Review. There are scattered trees and shrubs around the site but no foundation plantings between sidewalks and the face of the building.

- iv. That the proposed use, if it complies with all conditions imposed, will not adversely affect other property of the vicinity.*

Adverse impacts are not expected as the site is surrounded by office, commercial, and residential uses. The chief concern is this project's impact on the commercial businesses sharing the service drive with the subject property. The site is relatively isolated within a commercially zoned development. The application is only for 16 units where 52 are allowed. This should greatly reduce the chance for conflicts between new residents and existing businesses. There are no concerns about impacts to the residential property to the south. The 4-plex buildings are only two stories in height and have over 90 feet of separation from any existing homes. The presence of fencing and perimeter landscaping should further mitigate any privacy concerns.

- v. That the proposed use is in compliance with and supports the goals and objectives of the Comprehensive Plan.*

General Design Principle Neighborhood 1 and *West Bench Connectivity 2.2* encourages providing a network of streets and paths to connect different areas of neighborhoods. A pathway will be stubbed to an undeveloped property to the southeast. This will help connect this project down to commercial businesses and possible reduce vehicle trips.

General Design Principle Neighborhood 3 advocates for a mix of housing types. The four-plex units the applicant is proposing are not present in the general vicinity. Housing in the area is exclusively single-family in nature. This project provides density and housing variety in the neighborhood.

General Design Principle Neighborhood 2 calls for integrating parks and open space. One of the projects amenities is providing 10% of the site's area outside setbacks as open space. Although it would be better if there were a park or school within walking distance the project is located at the end of service drive in a commercial development.

Infill Design Principle Neighborhood 1 speaks to transitions in building mass and height. The applicant is proposing two-story four-plexes. The closest single-family residences are located 90' to the southwest. The landscape plan shows some trees between the homes and the new four-plexes. A full vegetative barrier is not needed due the amount distance between existing homes and the new project.

General Design Principle Neighborhood 11 calls for incorporating sustainable design practices. The applicant is design the units to Leed Silver standards. This measure furthers the City's goals of new construction consuming less energy.

7. Recommended Conditions of Approval

Site Specific

1. Compliance with plans and specifications submitted to and on file in the Planning and Development Services Department dated received **February 26, 2014**, except as expressly modified by the Design Review Committee or staff and the following conditions:
2. The applicant shall construct a pedestrian pathway to the south near the eastern edge of the property boundary.
3. The applicant shall work with Design Review to provide additional foundation plantings and perimeter landscaping.
4. Comply with the requirements of the Boise City Public Works Solid Waste Division as specified in the attached memo dated **February 28, 2014**.
5. Comply with the requirements of the Boise City Public Works Department (BCPW) for drainage, sewers, Solid Waste/Ground Water Manager, and street lights as specified in the attached comments dated **February 28, 2014**. Please contact BCPW at 384-3900. All items required by BCPW shall be included on the plans/specifications that are submitted for a Building Permit. Please note that any changes or modifications by the owner to the approved Storm Water Plan must be resubmitted to BCPW for approval.
6. Comply with the requirements of the Ada County Highway District as specified in the attached letter dated **March 12, 2014**.

Standard Conditions of Approval

7. A Building Permit approval is contingent upon the determination that the site is in conformance with the Boise City Subdivision Ordinance. Contact the Planning and Development Services Subdivision Section at 208-384-3998 regarding questions pertaining to this condition.
8. Vision Triangles as defined under Section 11-1-3 and Section 11-10-4.4G of the Boise City Code shall remain clear of sight obstructions.
9. Any outside lighting shall be reflected away from adjacent property and streets. The illumination level of all light fixtures shall not exceed two (2) footcandles as measured one (1) foot above the ground at property lines shared with residentially zoned or used parcels.
10. Trash receptacles and on-grade and rooftop mechanical fixtures and equipment shall be concealed from public view by use of an approved sight-obscuring method. All screening materials shall be compatible with the building materials/design.
11. Utility services shall be installed underground.
12. An Occupancy Permit will not be issued by the Planning and Development Services Department until all of these conditions have been met. In the event a condition(s) cannot be met by the desired date of occupancy, the Planning Director will determine whether the condition(s) is bondable or should be completed, and if determined to be bondable, a bond or other surety acceptable to Boise City will be required in the amount of 110% of the value of the condition(s) that is incomplete.
13. No change in the terms and conditions of this approval shall be valid unless in writing and signed by the applicant or his authorized representative and an authorized representative of Boise City. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon Boise City.
14. Any change by the applicant in the planned use of the property, which is the subject of this application, shall require the applicant to comply with all rules, regulations, ordinances, plans, or other regulatory and legal restrictions in force at the time the applicant, or successors of interest, advise Boise City of intent to change the planned use of the property described herein, unless a variance in said requirements or other legal relief is granted pursuant to the law in effect at the time the change in use is sought.
15. Failure to abide by any condition of this approval shall be grounds for revocation by the Boise City Planning and Zoning Commission.

16. This Permit shall be valid for a period not to exceed two (2) years from the date of approval by the Planning and Zoning Commission. Within this period, the holder of the permit must commence the use permitted by the permits in accordance with the conditions of approval.
17. Prior to the expiration of this conditional use, the Commission may, upon written request by the holder, grant a two-year time extension. A maximum of two (2) extensions may be granted.

Memo

To: Planning and Development Services
From: Peter McCullough; Public Works Department
Date: 2/28/14
Re: Solid Waste Comments- CUP14-00008, 8743 W. Hackamore Dr.

Solid Waste staff has reviewed the application for this project and has the following comments:

1. The proposed enclosure does not meet the City of Boise requirements.
2. If a single trash dumpster is to be used the enclosure must be 12'X12', with gates opening 120 degrees
3. In addition the access requirements have not been met; specifically there is no area for the truck to turn around.
4. Consider adding a man door to the enclosure for ease of access and reduced conflict with parked cars.
5. Review size requirements for the enclosure based on the number of containers desired.

Review all requirements in the link below:

<http://curbit.cityofboise.org/commercial/trash-collection/new-construction-design-standards/>

Please contact me with any questions at 384-3906.

CITY OF BOISE

INTER-DEPARTMENT
CORRESPONDENCE

Date: February 26, 2014

To: Planning and Development Services

From: Mike Sheppard, Civil Engineer
Public Works

Subject: CUP14-00008; 8743 W Hackamore Drive; Sewer Comments

Connection to central sewer is required. Sanitary sewers are available along the west side of the property.

Prior to granting of final sewer construction plan approval, all requirements by Boise City Planning and Development Services must be met.

If you have any further questions please contact Mike Sheppard at 384-3920.

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 27 February 2014

To: Planning and Development Services

From: Mike Hedge, Street Light Technician
Public Works

Subject: CUP14-00008; 8743 W. Hackamore Dr.; Street Light Comments

No comments.

If you have any further questions contact Mike Hedge at 388-4719 or mhedge@cityofboise.org.

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CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date:2/26/2014

To: Planning and Development Services

From: Brian Murphy, Drainage Coordinator
Public Works

Subject: CUP14-00008; Drainage/Stormwater Comments

A drainage plan must be submitted and approved by Public Works prior to issuance of a building permit.

If you have any further questions contact Brian Murphy, 384-3752.

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 2/27/2014

To: Planning and Development Services

From: Terry Alber, Senior Environmental Specialist, 384-3992
Public Works

Subject: **CUP14-00008**; 8743 W HACKAMORE DR; Pretreatment Comments

Public Works, Pretreatment offers NO COMMENT.



Sara M. Baker, President
John S. Franden, Vice President
Rebecca W. Arnold, Commissioner
Mitchell A. Jaurena, Commissioner
Jim D. Hansen, Commissioner

Date: March 12, 2014

To: Dave Scaggs, via e-mail
1341 S. Spring Valley Dr.
Nampa, Idaho 83686

Subject: CUP14-00008
8743 W. Hackamore Dr.
Develop a community for 4-four plexes, Century Landmark Center #2

In response to your request for comment, the Ada County Highway District (ACHD) staff has reviewed the submitted application and site plan for the item referenced above. The applicant shall be required to meet the following conditions of approval:

- Comply with all ACHD Standard Conditions of Approval (attached) as well as all ACHD Policies.
- A traffic impact fee may be assessed by ACHD and will be due prior to the issuance of a building permit. This is a separate review process that requires direct plans submittal to the Development Review staff at the Highway District. For questions regarding the submittal for impact fee assessment please contact the Development Review staff at (208) 387-6170.
- Prior to the construction, repair, or installation of any roadway improvements (curb, gutter, sidewalk, pavement widening, driveways, culverts, etc.), a permit must be obtained from ACHD.

If you have any questions, please feel free to contact me at (208) 387-6273.

Sincerely,

Tammy Tucker
Administrative Specialist
Development Services
CC: Project file,
City of Boise, via e-mail
Jon & Cecily Cooper, via e-mail
Steve Arnold, via e-mail