

F  
1  
T  
2  
T  
3  
T  
4  
L

A

T

B

T

C

T

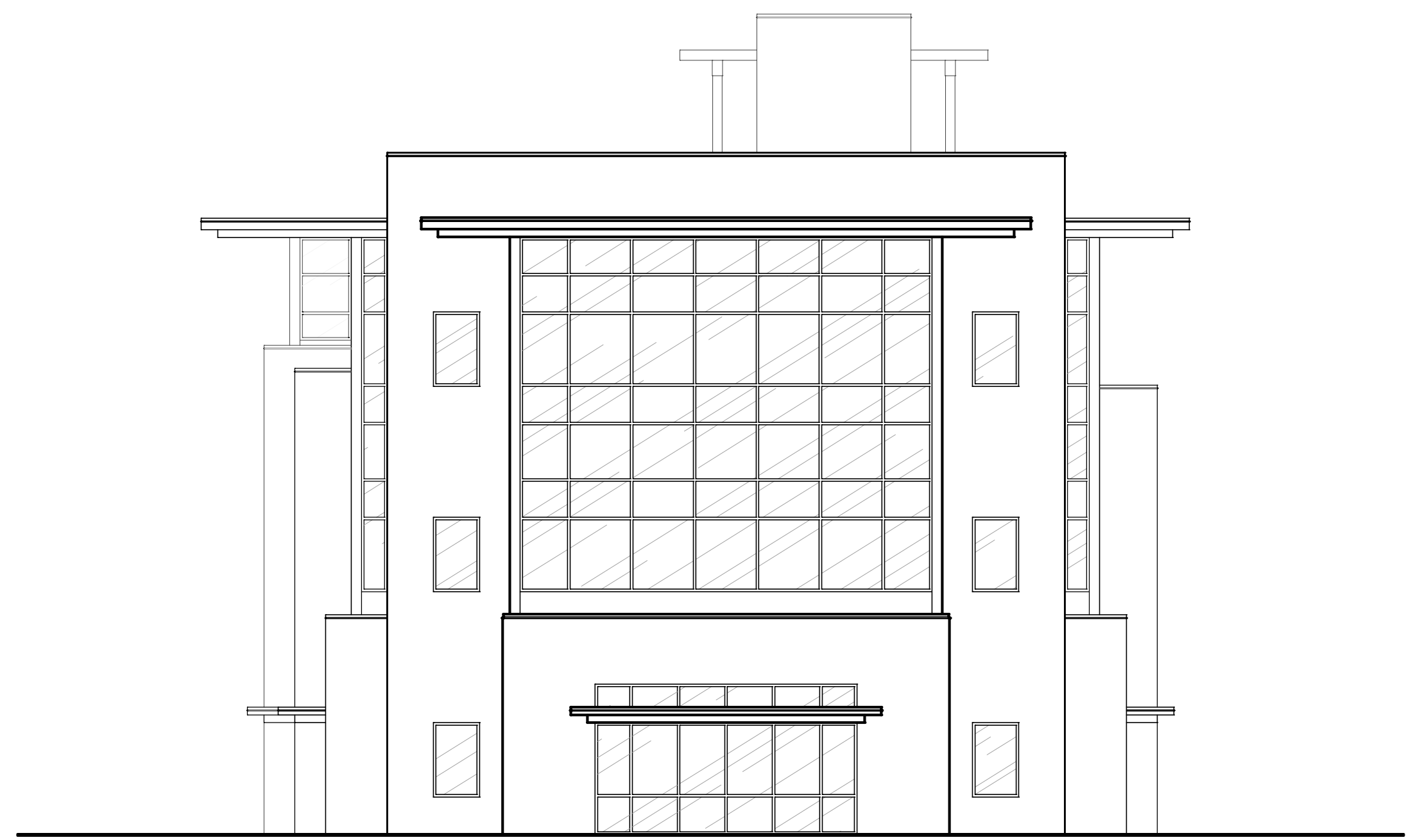
D

T

E

T

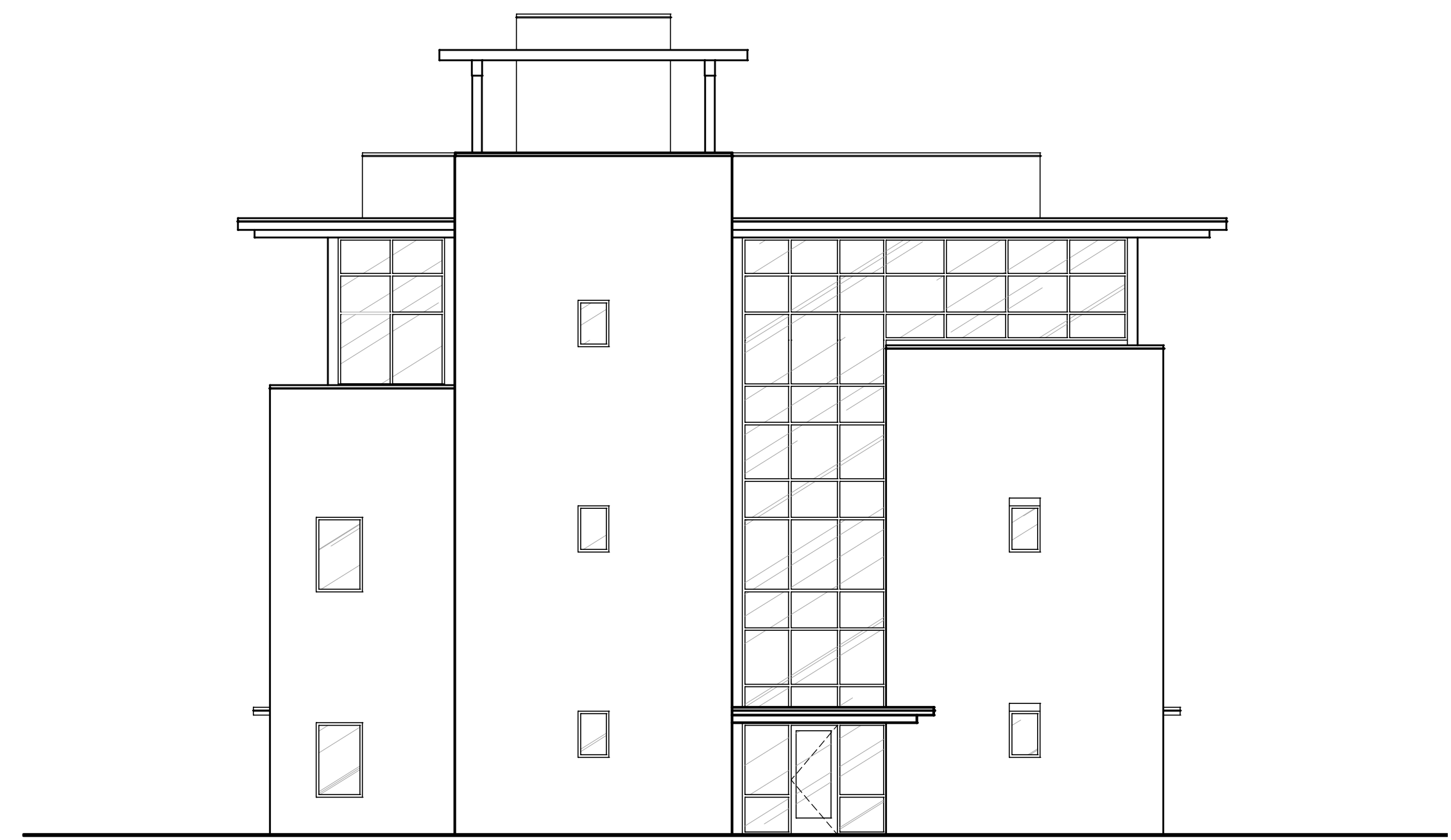
F



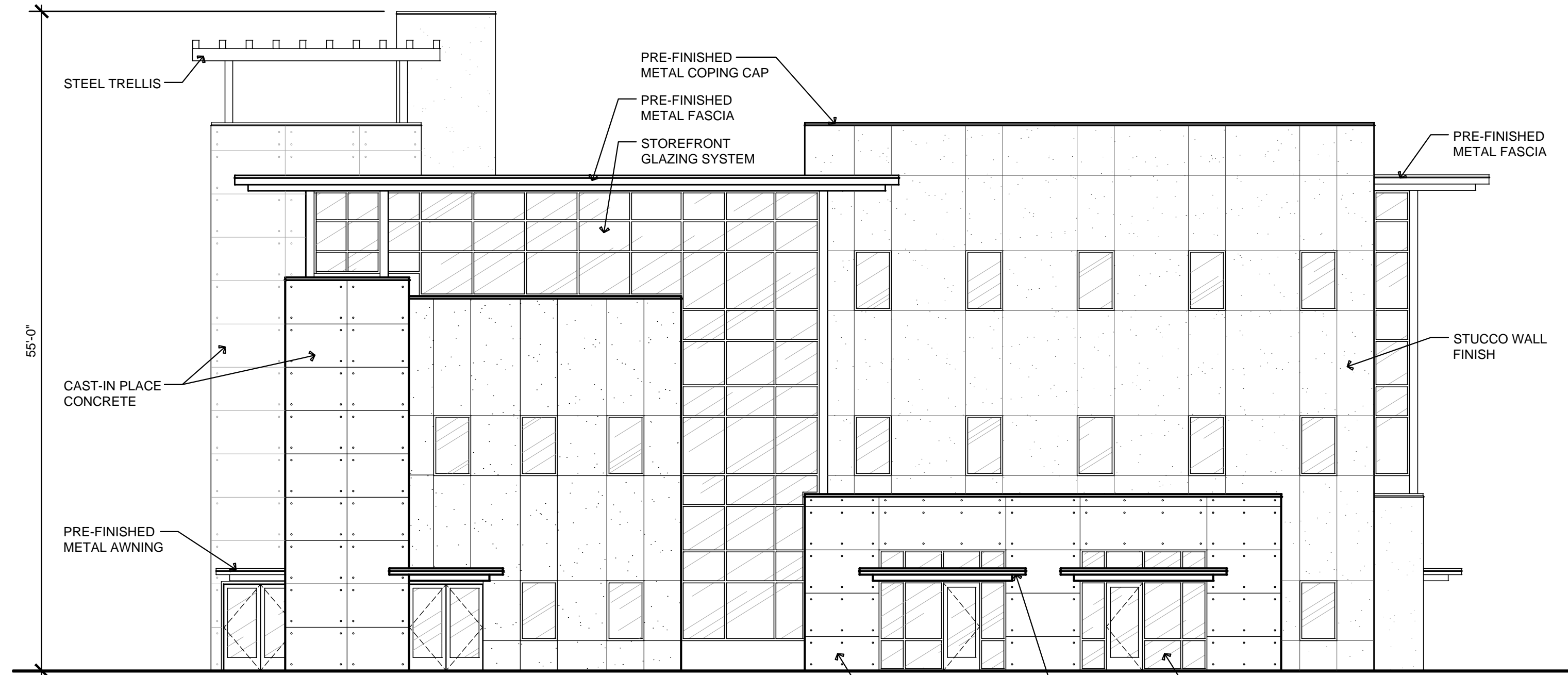
**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE 1/8" = 1'-0"

REVISIONS	
DESCRIPTION	DATE

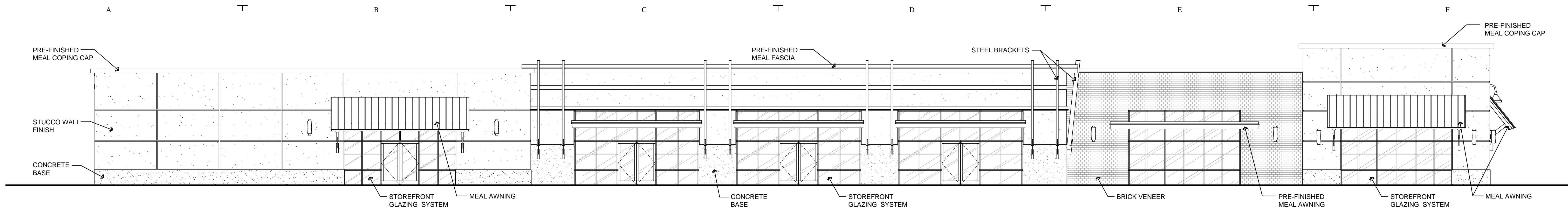
OWNER  
**RIVER STREET STORAGE**  
 SOUTHWEST CORNER OF  
 RIVER AND 13TH STREET  
 BOISE, IDAHO

COPYRIGHT  
 2015

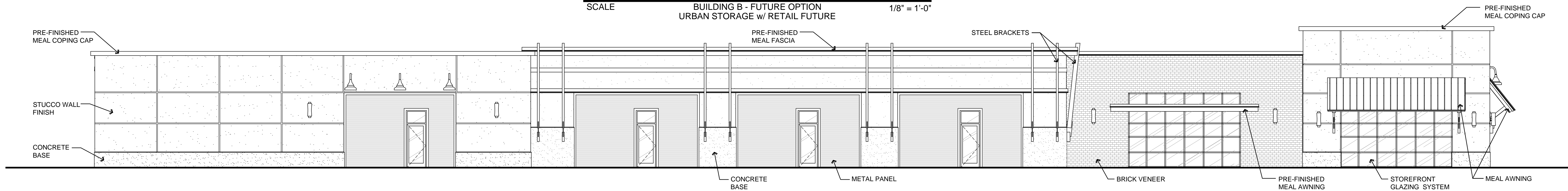
Glancey ♦ Rockwell & Associates  
 Architecture • Planning  
 595 S Americana Boulevard Boise, Idaho 83702  
 (208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
 office@grboise.com

SHEET DATA  
 DRAWN BY: DG  
 CHECKED BY: JG/PR  
 SCALE:  
 DATE: 03/25/2015  
 PROJECT #: 14050

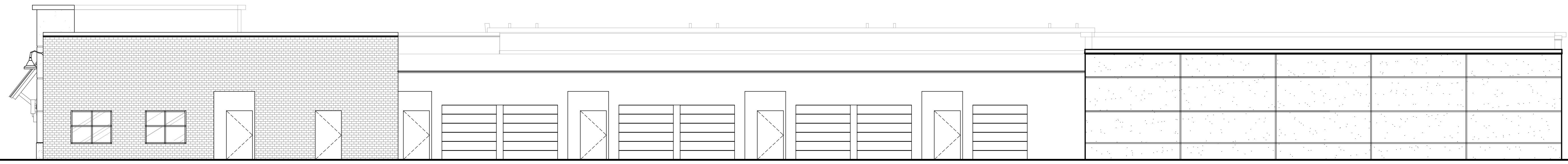
SHEET NUMBER  
**A-2.1**



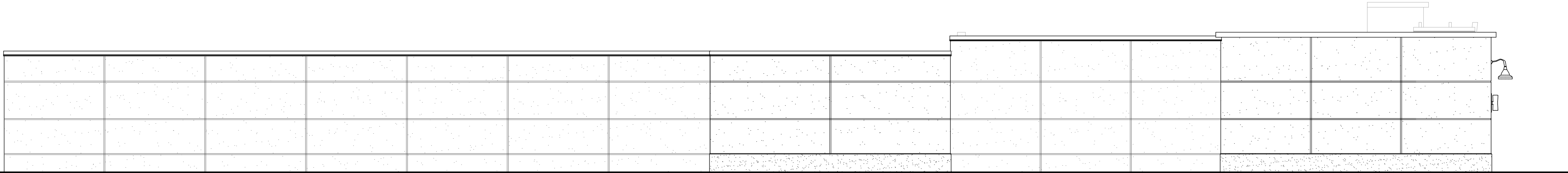
**EAST ELEVATION**  
 SCALE BUILDING B - FUTURE OPTION  
 URBAN STORAGE w/ RETAIL FUTURE 1/8" = 1'-0"



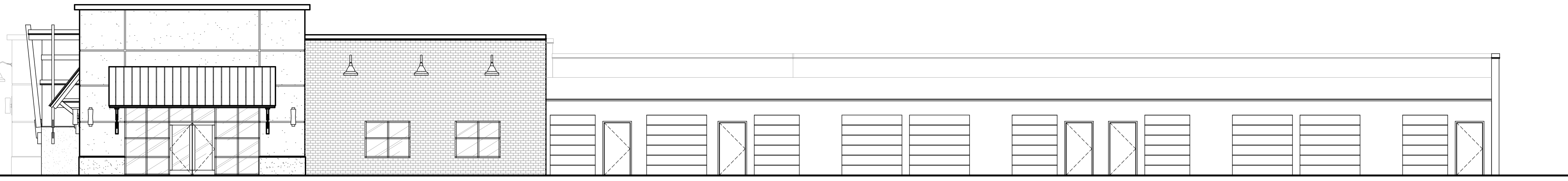
**EAST ELEVATION**  
 SCALE BUILDING B - URBAN STORAGE OPTION  
 URBAN STORAGE w/ RETAIL FUTURE 1/8" = 1'-0"



**WEST ELEVATION**  
 SCALE BUILDING B  
 URBAN STORAGE w/ RETAIL FUTURE 1/8" = 1'-0"



**SOUTH ELEVATION**  
 SCALE BUILDING B  
 URBAN STORAGE w/ RETAIL FUTURE 1/8" = 1'-0"



**NORTH ELEVATION**  
 SCALE BUILDING B  
 URBAN STORAGE w/ RETAIL FUTURE 1/8" = 1'-0"

REVISIONS	
DESCRIPTION	DATE

OWNER  
**RIVER STREET STORAGE**  
 SOUTHWEST CORNER OF  
 RIVER AND 13TH STREET  
 BOISE, IDAHO

COPYRIGHT  
 2015

Glancey ♦ Rockwell & Associates  
 Architecture • Planning  
 595 S Americana Boulevard Boise, Idaho 83702  
 (208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
 office@grboise.com

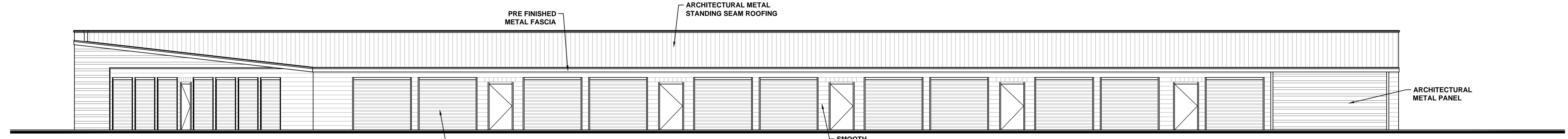
SHEET DATA	
DRAWN BY:	DG
CHECKED BY:	JG/PR
SCALE:	
DATE:	03/25/2015
PROJECT #:	14050

SHEET NUMBER  
**A-2.2**

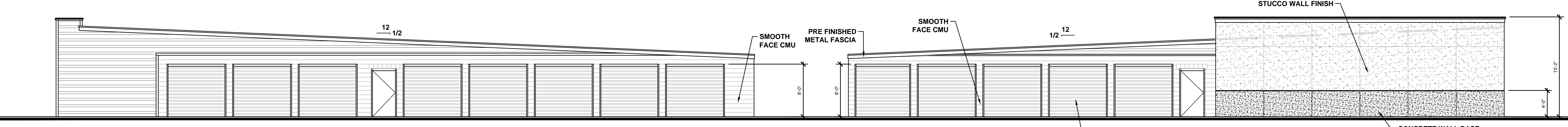
F A T B T C T D T E T F



**ALLEY (NORTH) ELEVATION**  
 SCALE BUILDING C URBAN STORAGE BUILDING 1/8" = 1'-0"

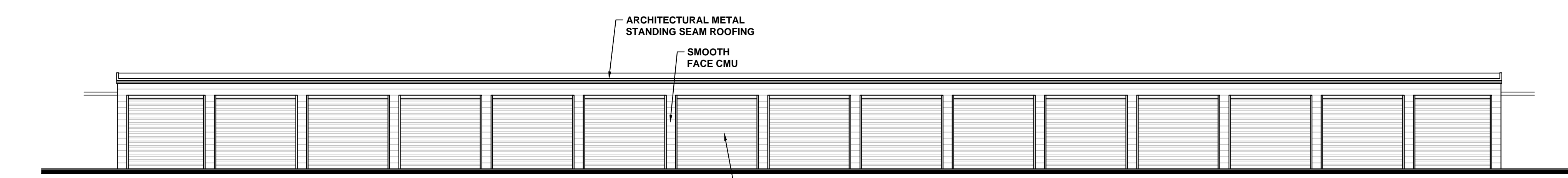


**SOUTH ELEVATION**  
 SCALE BUILDING C URBAN STORAGE BUILDING 1/8" = 1'-0"

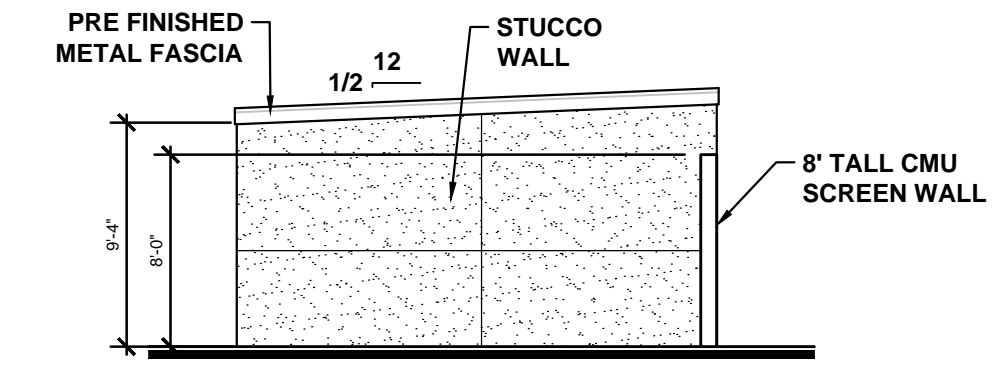


**EAST ELEVATION**  
 SCALE BUILDING C URBAN STORAGE BUILDING 1/8" = 1'-0"

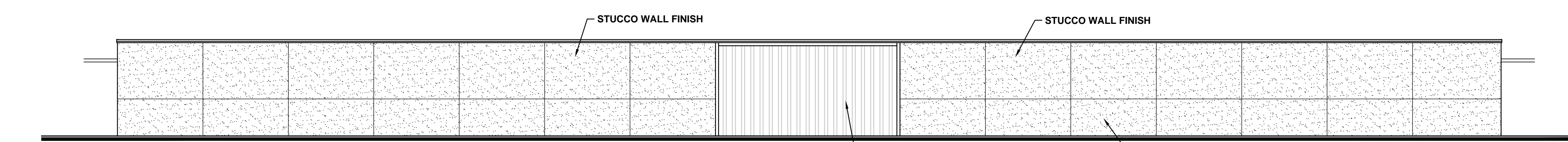
**WEST ELEVATION**  
 SCALE BUILDING C URBAN STORAGE BUILDING 1/8" = 1'-0"



**EAST ELEVATION**  
 SCALE BUILDING D AMBIENT STORAGE BUILDING 1/8" = 1'-0"



**SIDE ELEVATION**  
 SCALE BUILDING D AMBIENT STORAGE BUILDING 1/8" = 1'-0"



**WEST ELEVATION**  
 SCALE BUILDING D AMBIENT STORAGE BUILDING 1/8" = 1'-0"

REVISIONS	
DESCRIPTION	DATE

OWNER  
**RIVER STREET STORAGE**  
 SOUTHWEST CORNER OF  
 RIVER AND 13TH STREET  
 BOISE, IDAHO

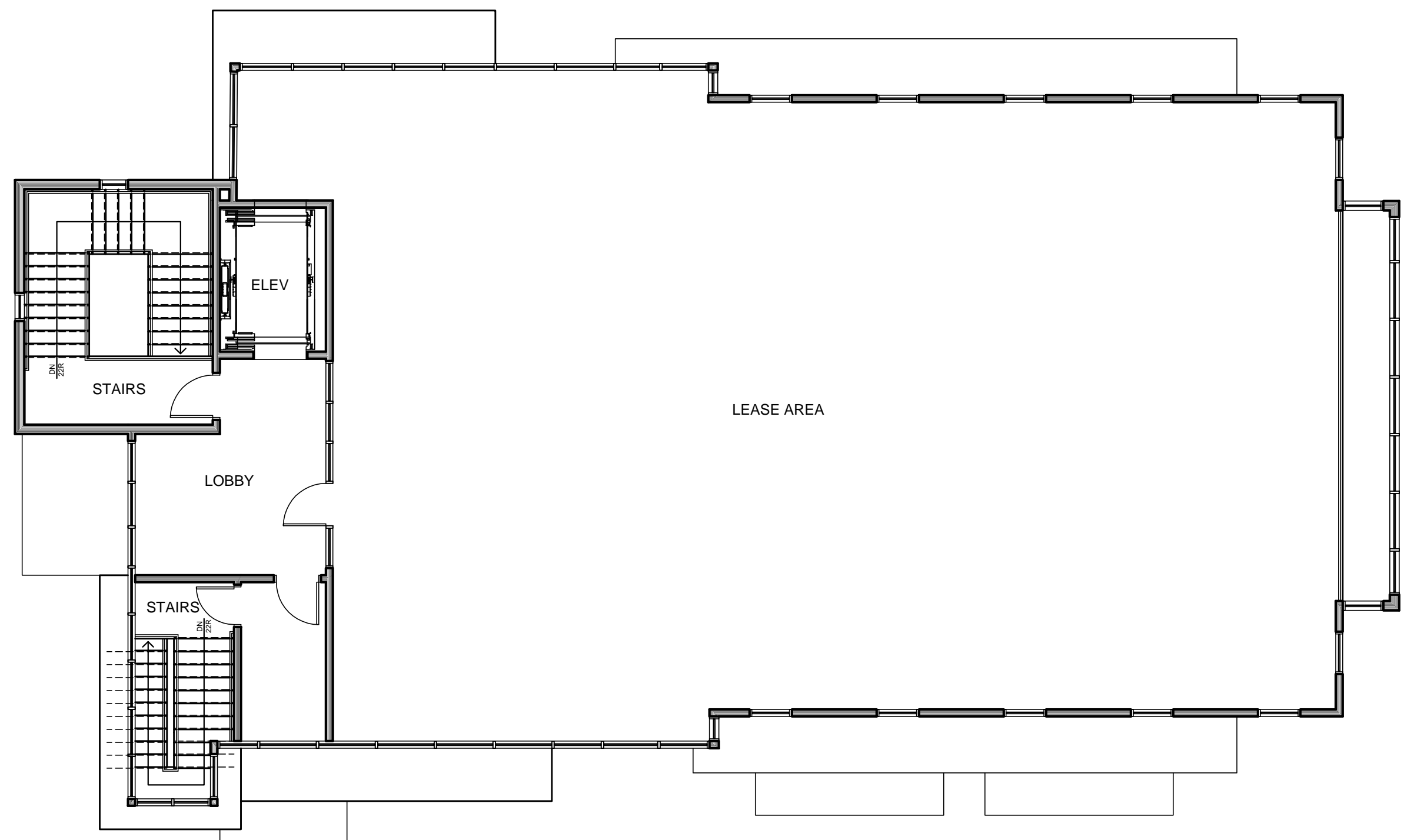
COPYRIGHT  
 2015

Glancey ♦ Rockwell & Associates  
 Architecture • Planning  
 595 S Americana Boulevard Boise, Idaho 83702  
 (208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
 office@grboise.com

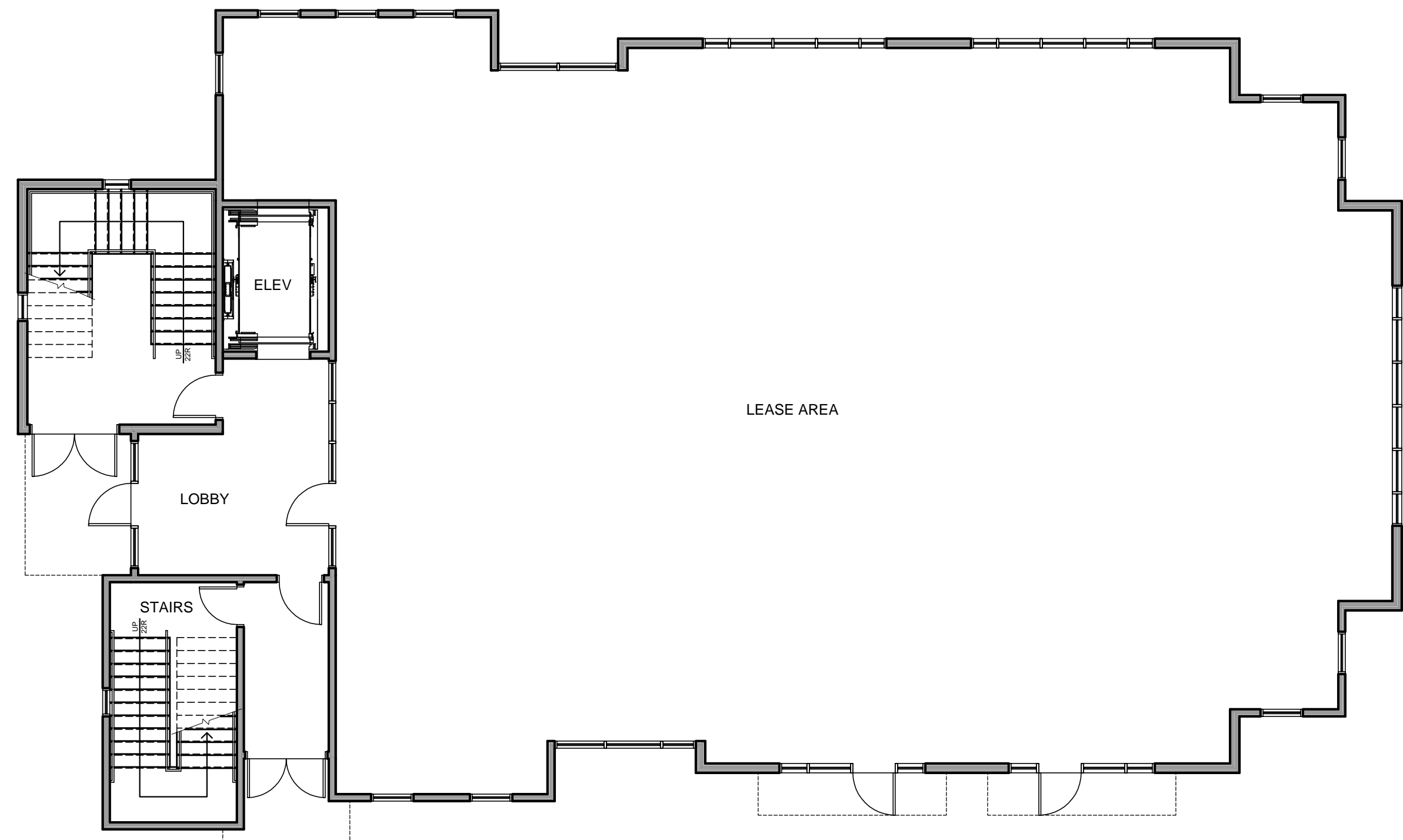
SHEET DATA	
DRAWN BY:	DG
CHECKED BY:	JG/PR
SCALE:	
DATE:	03/25/2015
PROJECT #:	14050

SHEET NUMBER  
**A-2.3**

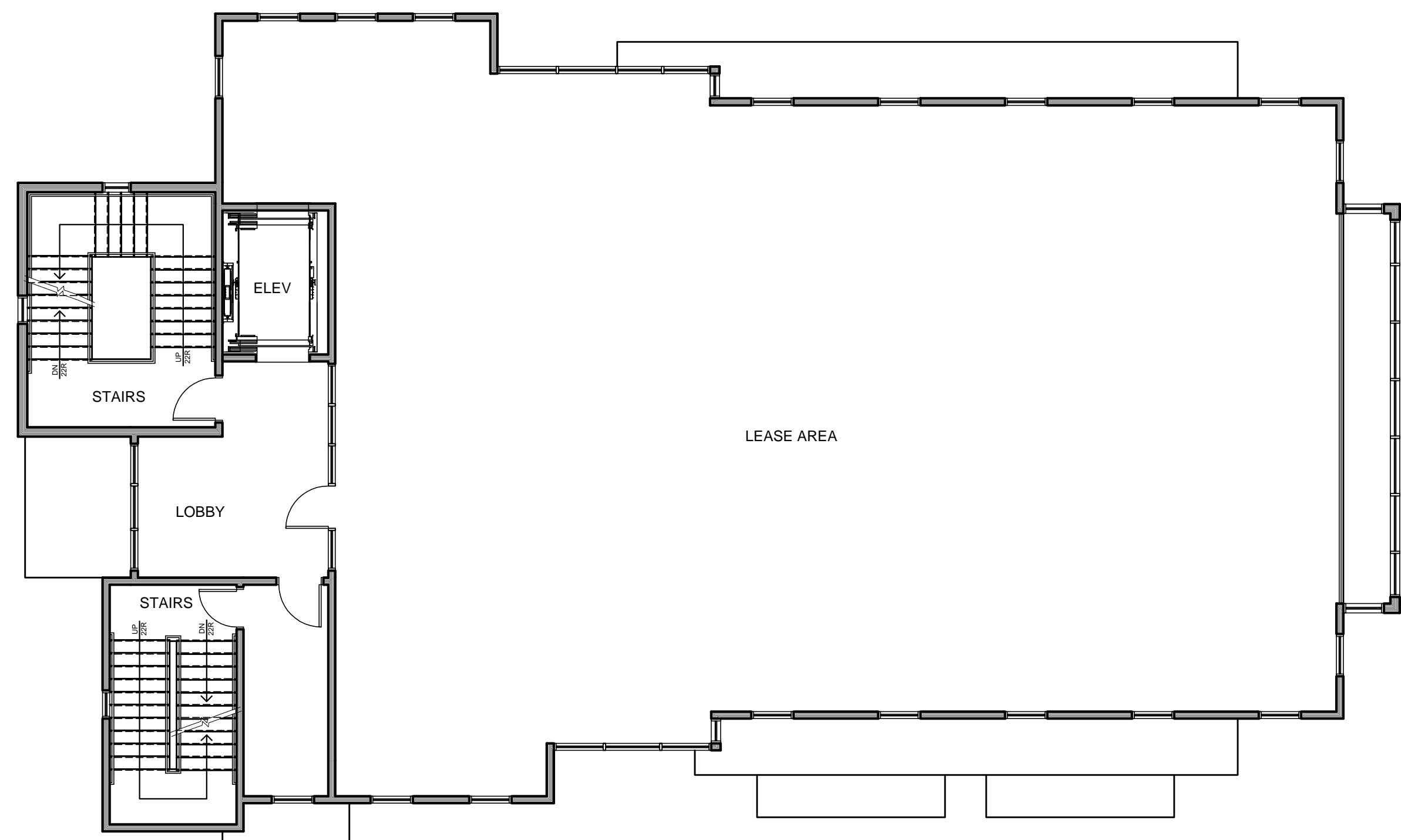
L T T T T T T T T




**THIRD FLOOR** **PLAN**  
 NORTH SCALE BUILDING A 3-STORY OFFICE BUILDING 1/8" = 1'-0"




**MAIN FLOOR** **PLAN**  
 NORTH SCALE BUILDING A 3-STORY OFFICE BUILDING 1/8" = 1'-0"




**SECOND FLOOR** **PLAN**  
 NORTH SCALE BUILDING A 3-STORY OFFICE BUILDING 1/8" = 1'-0"

REVISIONS	
DESCRIPTION	DATE

OWNER  
**RIVER STREET STORAGE**  
 SOUTHWEST CORNER OF  
 RIVER AND 13TH STREET  
 BOISE, IDAHO

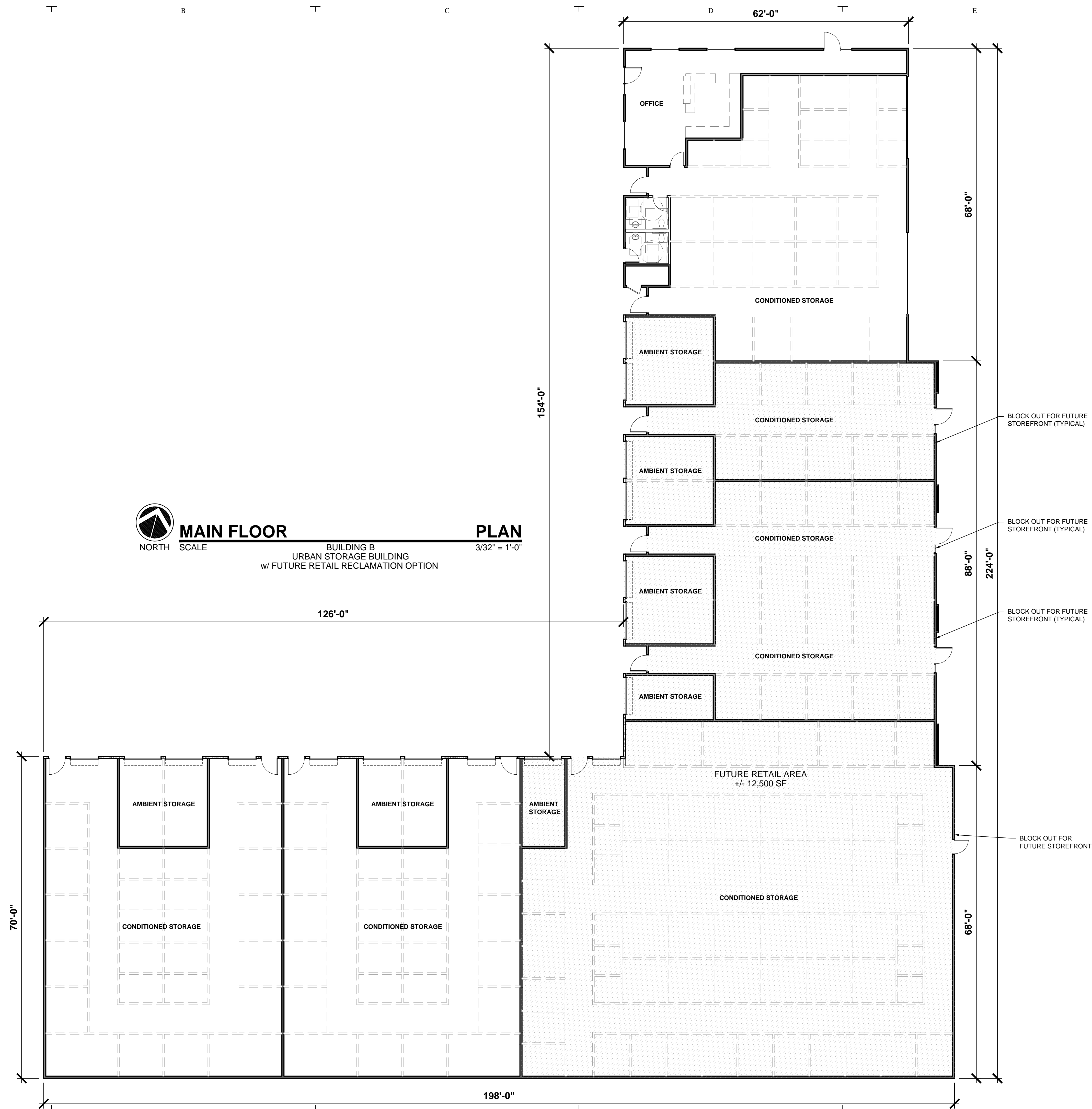
COPYRIGHT  
 2015

**Glancey ♦ Rockwell & Associates**  
 Architecture • Planning  
 595 S Americana Boulevard Boise, Idaho 83702  
 (208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
 office@grboise.com

SHEET DATA	
DRAWN BY:	DG
CHECKED BY:	JG/PR
SCALE:	
DATE:	03/25/2015
PROJECT #:	14050

SHEET NUMBER

**A-1.1**



**MAIN FLOOR PLAN**  
 NORTH SCALE 3/32" = 1'-0"  
 BUILDING B  
 URBAN STORAGE BUILDING  
 w/ FUTURE RETAIL RECLAMATION OPTION

REVISIONS	
DESCRIPTION	DATE

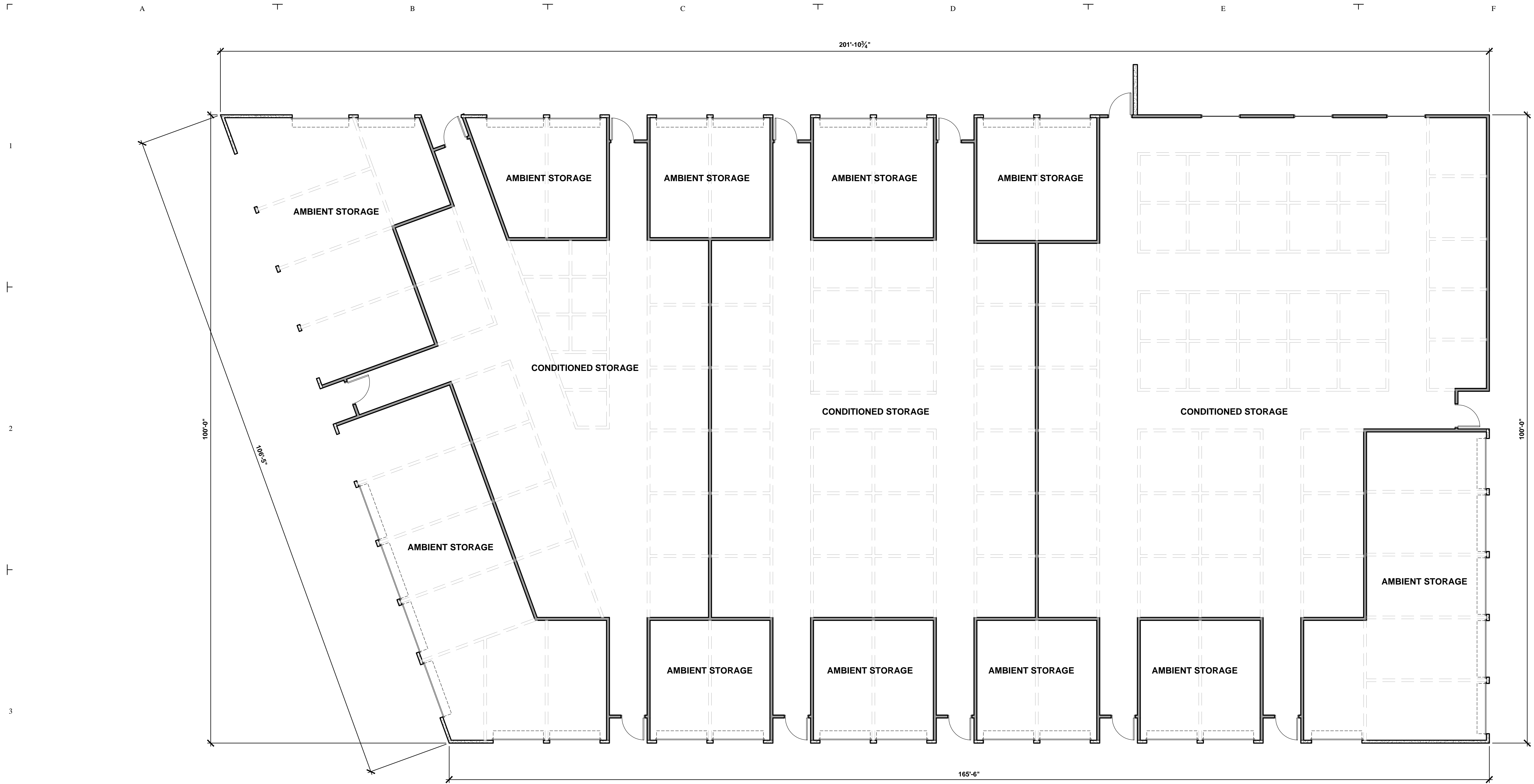
OWNER  
**RIVER STREET STORAGE**  
 SOUTHWEST CORNER OF  
 RIVER AND 13TH STREET  
 BOISE, IDAHO

COPYRIGHT  
 2015

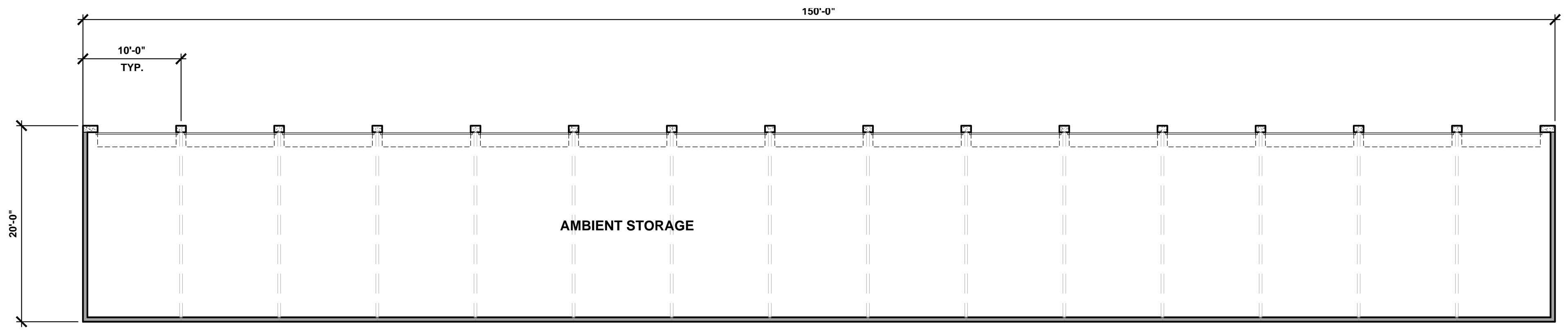
Glancey ♦ Rockwell & Associates  
 Architecture • Planning  
 595 S Americana Boulevard Boise, Idaho 83702  
 (208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
 office@grboise.com

SHEET DATA  
 DRAWN BY: DG  
 CHECKED BY: JG/PR  
 SCALE:  
 DATE: 03/25/2015  
 PROJECT #: 14050

SHEET NUMBER  
**A-1.2**



**MAIN FLOOR PLAN**  
 NORTH SCALE BUILDING C  
 URBAN STORAGE BUILDING  
 1/8" = 1'-0"



**MAIN FLOOR PLAN**  
 NORTH SCALE BUILDING D  
 AMBIENT STORAGE BUILDING  
 1/8" = 1'-0"

REVISIONS	
DESCRIPTION	DATE

OWNER  
**RIVER STREET STORAGE**  
 SOUTHWEST CORNER OF  
 RIVER AND 13TH STREET  
 BOISE, IDAHO

COPYRIGHT  
 2015

Glancey Rockwell & Associates  
 Architecture • Planning  
 595 S Americana Boulevard Boise, Idaho 83702  
 (208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
 office@grboise.com

SHEET DATA	
DRAWN BY:	DG
CHECKED BY:	JG/PR
SCALE:	
DATE:	03/25/2015
PROJECT #:	14050

SHEET NUMBER  
**A-1.3**



**South Elevation**  
estimated shadow study: 3/21 morning

Alley Elevation



**East Elevation**  
estimated shadow study: 3/21 morning

River Street Elevation



**North Elevation**  
estimated shadow study: 3/21 afternoon

13th Street Elevation



**West Elevation**  
estimated shadow study: 3/21 afternoon

Parking Elevation



+URBAN STORAGE WITH CONVERTED RETAIL STOREFRONT

+ALLEY ACCESS FROM RIVER STREET

+3 STORY OFFICE BUILDING

# Southwest Perspective

estimated shadow study: 3/21 morning





+ CONVERTED RETAIL

+ WALKABLE STREETScape

# Northeast Perspective

estimated shadow study: 3/21 morning

River Street Elevation

urban storage



### East Elevation

estimated shadow study: 3/21 morning

River Street Elevation

+framed openings

### North Elevation

estimated shadow study: 3/21 morning

Alley Elevation

retail conversion (future)



### East Elevation

estimated shadow study: 3/21 morning

River Street Elevation

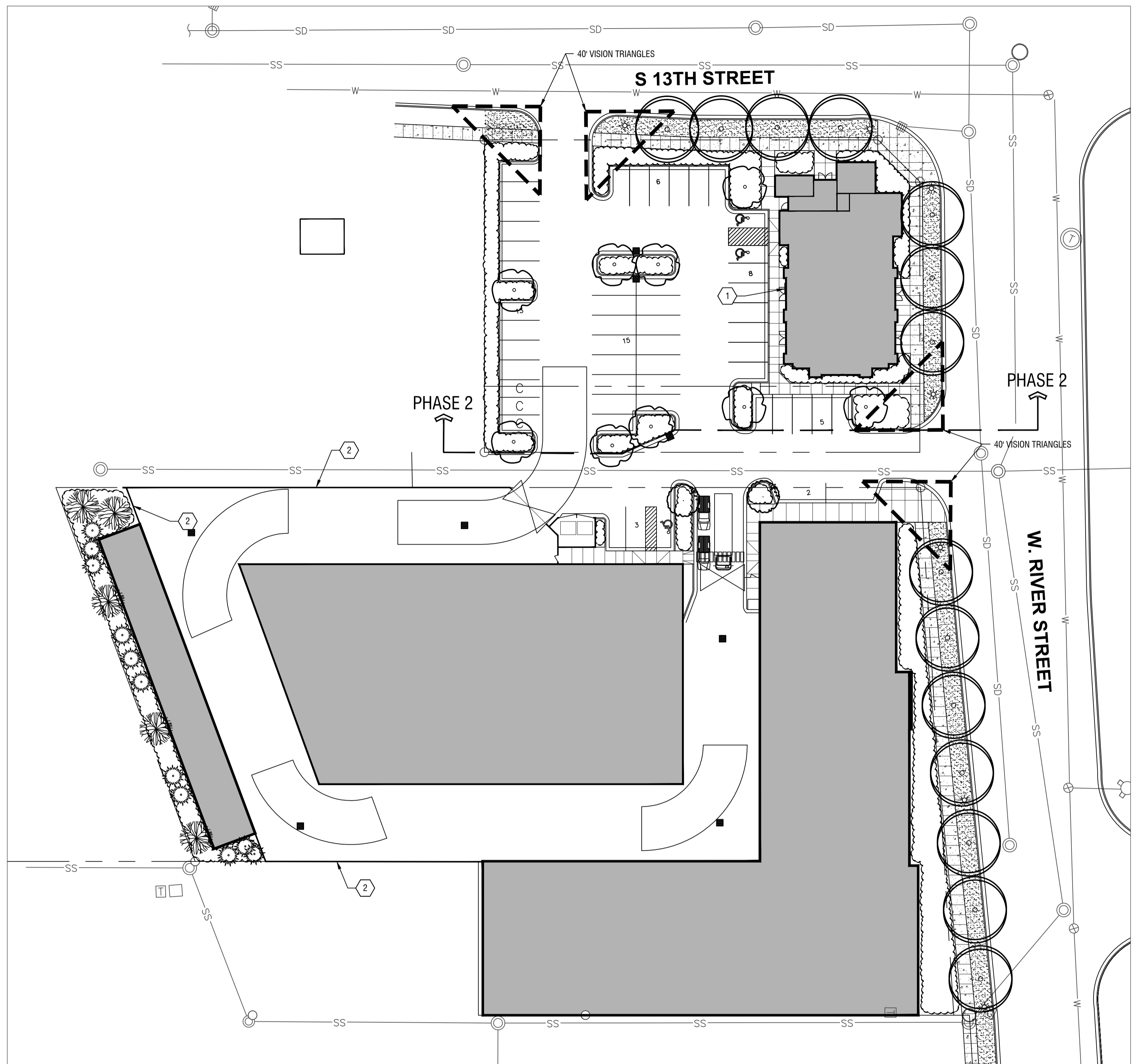
+River Street access

+transparent facade

### North Elevation

estimated shadow study: 3/21 morning

Alley Elevation



**Conditional Use Permit- Landscape Plan**

HORIZONTAL SCALE: 1" = 30'

**Planting Schedule:**

Key	Botanical Name	Common Name	Size	Notes
<b>Deciduous Shade Trees</b>				
AR	Acer rubrum 'October Glory'	October Glory Maple	2" CAL. B&B	CLASS II
FC	Fraxinus pennsylvanica 'Cinnizam'	Cinnaron Ash	2" CAL. B&B	CLASS II
GI	Gleditsia tricanthos 'Imperial'	Imperial Honey Locust	2" CAL. B&B	CLASS II
<b>Ornamental Trees</b>				
RT	Rhus typhina	Staghorn Sumac	2" CAL. B&B	CLASS I
CC	Cercis canadensis var. mexicana	Mexican Redbud	2" CAL. B&B	CLASS I
<b>Evergreen Trees</b>				
PA	Pinus aristata	Bristlecone Pine	4FT	
VP	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pine	4FT	
<b>Shrubs</b>				
GL	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 Gal.	
TT	Barberis thunbergii 'Moromb'	Cherry Bomb Japanese Barberry	3 Gal.	
VC	'Pinus mugo' 'Mops'	Mops Mugo Pine	3 Gal.	
HL	Hydrangea paniculata 'Limelight'	Limelight Hardy Hydrangea	5 Gal.	
JC	Juniperus chinensis 'Shumpaku'	Shumpaku Juniper	5 Gal.	
RF	Rhamnus frangula 'Ron Williams'	Fine line Fern Leaf Buckthorn	5 Gal.	
RR	Rosa x 'Radiko'	Red Double Knock Out Rose	3 Gal.	
<b>Perennials and Grasses</b>				
CA	Calamagrostis x acutiflora 'Karl Foerster'	Foerster Feather Reed Grass	1 Gal.	
CM	Coreopsis verticillata 'Moonbeam'	Moonbeam Threaskleaf Tickseed	1 Gal.	
MS	Miscanthus sinensis 'Little Kitten'	Little Kitten Maiden Grass	1 Gal.	
SS	Salvia x sylvestris 'Blue Hill'	Blue Hill Meadow Sage	1 Gal.	
PV	Panicum virgatum 'Hevy Metal'	Heavy Metal Switch Grass	1 Gal.	

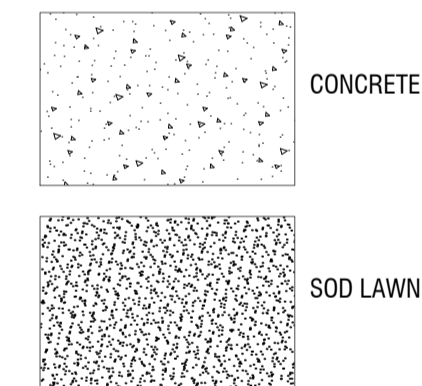
**Landscape Notes:**

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH LANDSCAPE MULCH.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN.
- IN ALL PLANTER BED AND LAWN AREAS, THE TOP 6 INCHES OF TOPSOIL WILL BE AMENDED AT A RATIO OF 1 CUBIC YARD OF COMPOST/ORGANIC MATTER PER 1000 SQUARE FEET. ROTOTILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- ALL SOD AREAS SHALL HAVE A MINIMUM OF 6" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 1" BELOW SURFACE OF WALKS AND CURBS.
- RE-USE EXISTING SURFACE TOPSOIL WHERE POSSIBLE. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A PH OF 5.5 TO 7.0. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. SEE IRRIGATION PLANS.

**Street Tree Notes:**

- STREET TREES PLANTED WITHIN PARKWAYS SHALL BE INSTALLED AT ONE TREE PER 35' LINEAR FEET, LESS DRIVEWAY WIDTH, PER LOT. IF STREET TREES ARE UNABLE TO BE INSTALLED WITHIN THE PROPOSED PARKWAYS DUE TO ACHD SEEPAGE BED LOCATION, THE REQUIRED TREES SHALL BE PLANTED ON THE ADJACENT BUILDABLE LOT. THESE TREES MAY BE INSTALLED AT THE TIME OF THE LOT DEVELOPMENT.
- TREES SHALL NOT BE PLANTED WITHIN MINIMUM 5' OF ANY CITY WATER SERVICE, OR 10' OF ANY ACHD DRAINAGE FACILITY.

**Legend:**



**Project Calculations:**

STREET LANDSCAPE BUFFER	
Buffer Width - 10'	
Total Linear Feet - 600'-55'(Curb Cuts) =	545'
Total Trees - 14 Provided	(14 Required)

**Keynotes:**

- BICYCLE RACK (5)
- CMU RETAINING WALL

**Development Contacts:**

**CLIENT**  
ISS River Partners, LLC  
8312 W. Northview Suite 120  
Boise, Idaho 83704

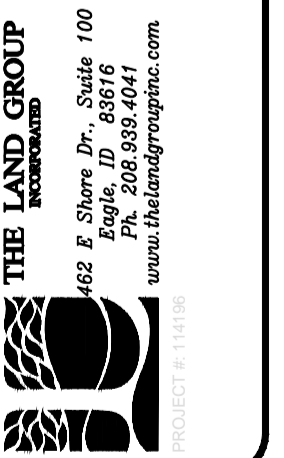
**APPLICANT / REPRESENTATIVE**  
The Land Group Inc.  
462 E Shore Dr. Ste 100  
Eagle, ID 83616  
ph 208.939.4041  
contact: tamara.thompson  
tamara@thelandgroupinc.com

REVISIONS	
DESCRIPTION	DATE

OWNER  
**RIVER STREET STORAGE**  
SOUTHWEST CORNER OF  
RIVER AND 13TH STREET  
BOISE, IDAHO

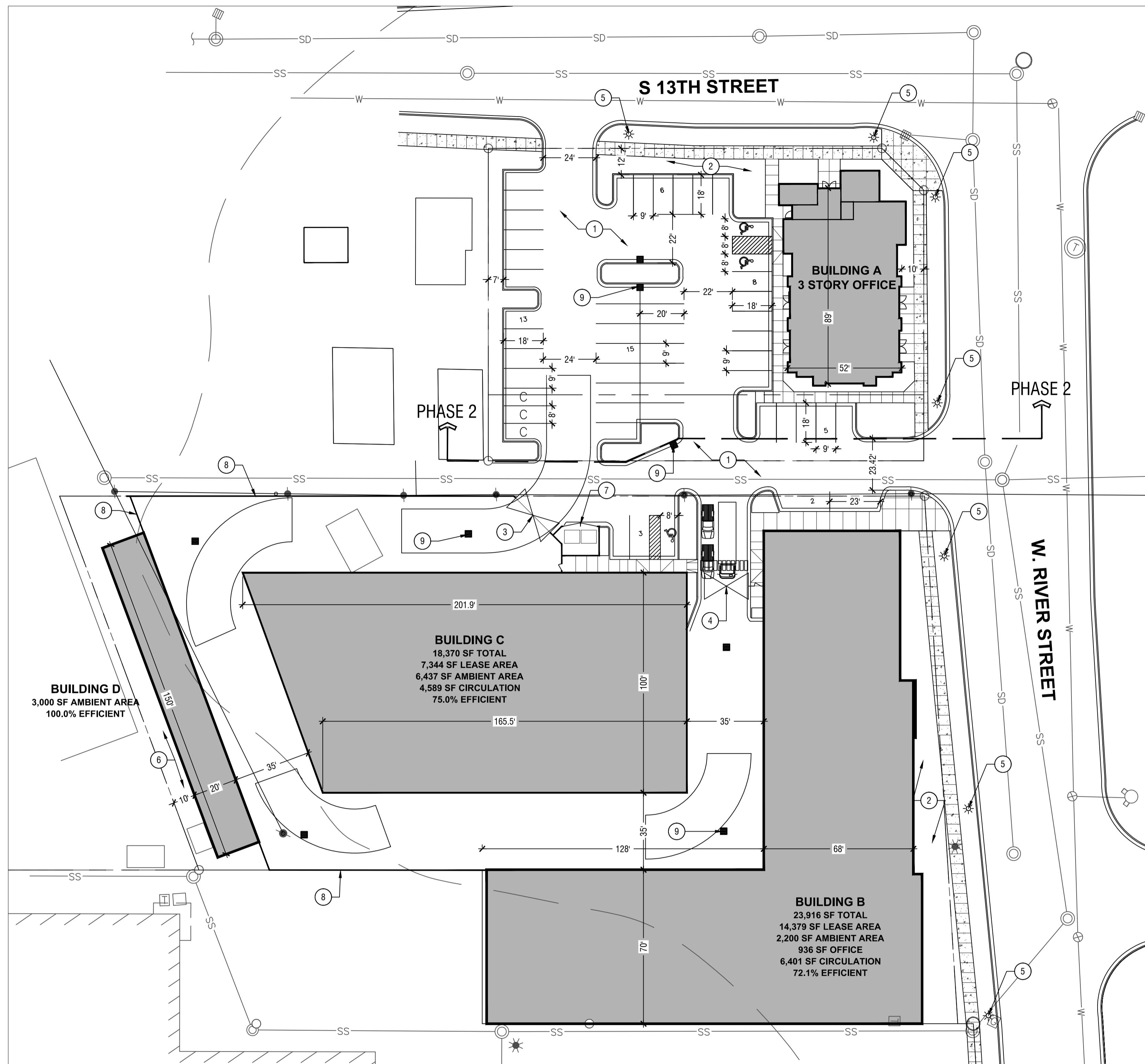
COPYRIGHT  
2014

Glancey ♦ Rockwell & Associates  
Architecture • Planning  
595 S Americana Boulevard Boise, Idaho 83702  
(208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
office@grtboise.com



SHEET DATA	
DRAWN BY:	TLG
CHECKED BY:	TLG
SCALE:	AS NOTED
DATE:	3/25/2015
PROJECT #:	14050

SHEET NUMBER  
**L1.00**



**Development Contacts:**

**CLIENT**  
ISS River Partners, LLC  
8312 W. Northview Suite 120  
Boise, Idaho 83704

**APPLICANT / REPRESENTATIVE**  
The Land Group Inc.  
462 E Shore Dr, Ste 100  
Eagle, ID 83616  
ph 208.939.4041  
contact: tamar thompson  
tamar@thelandgroupinc.com

**Keynotes:**

1. ASPHALTIC CONCRETE PAVEMENT
2. LANDSCAPE AREA. REFER TO LANDSCAPE PLAN
3. 22' ENTRY GATE/ CODE PAD
4. 20' ENTRY GATE/ CODE PAD
5. HISTORIC STREET LIGHT FIXTURE- PER CITY OF BOISE STANDARDS
6. 10FT IDAHO POWER EASEMENT
7. TRASH ENCLOSURE
8. CMU RETAINING WALL
9. CATCH BASIN- STORM DRAINAGE (TYPICAL)

**Site Calculations:**

LOT SIZE: 116,495 sq. ft.  
OFFICE SIZE: 14,000 sq. ft.  
BUILDING B: 23,916 sq. ft.  
BUILDING C: 18,370 sq. ft.  
BUILDING D: 3,000 sq. ft.

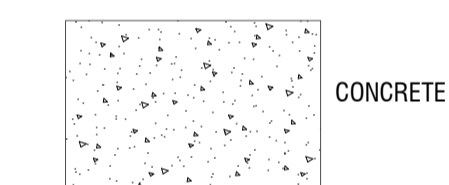
PARKING STALLS REQUIRED FOR OFFICE PARKING: 47  
PARKING STALLS PROVIDED FOR OFFICE PARKING: 50  
PARKING STALLS REQUIRED FOR SELF STORAGE FACILITY: 2  
PARKING STALLS PROVIDED FOR SELF STORAGE FACILITY: 2

ADA ACCESSIBLE PARKING STALLS REQUIRED FOR OFFICE PARKING: 2  
ADA ACCESSIBLE PARKING STALLS PROVIDED FOR OFFICE PARKING: 2  
ADA ACCESSIBLE PARKING STALLS REQUIRED FOR SELF STORAGE FACILITY: 1  
ADA ACCESSIBLE PARKING STALLS PROVIDED FOR SELF STORAGE FACILITY: 1

TOTAL PARKING STALLS PROVIDED: 52

FRONT SETBACK: 10ft  
REAR SETBACK: 5ft  
INTERIOR SIDE SETBACK: 15ft  
STREET LANDSCAPE BUFFER: 12ft  
REAR LANDSCAPE BUFFER: 7ft

**Legend:**



**General Notes:**

PROJECT LOCATION  
SITUATED IN SECTION 9, TOWNSHIP 3 NORTH, RANGE 2 EAST, BOISE MERIDIAN, CITY OF BOISE, ADA COUNTY, IDAHO

STORM WATER DRAINAGE DISPOSAL SHALL BE VIA ON-SITE SUBSURFACE FACILITIES IN ACCORDANCE WITH APPLICABLE AGENCY REQUIREMENTS.

THE CURRENT PROPERTY ZONING IS R-O.

**Grading & Drainage Notes:**

1. GENERAL NOTES ARE MADE A PART OF THE GRADING & DRAINAGE NOTES BY THIS REFERENCE. ALL CONTRACTORS AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO SAID NOTES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IDAHO SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THESE PLANS AND THE PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL HAVE A STAMPED, APPROVED SET OF PLANS, AND A COMPLETE COPY OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.) AND ACHO SUPPLEMENTAL INSTRUCTIONS, AT WORK SITE.
3. CONTRACTOR SHALL HAVE AN APPROVED SET OF PLANS ON SITE AT ALL TIMES. ONLY THESE PLANS SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY NON APPROVED SET OF PLANS ON THE JOB SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
4. NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION IF INCONSISTENCIES, ERRORS, OR DISCREPANCIES ARE FOUND IN THESE PLANS.
5. ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
6. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS NOTED IN THIS PLAN SET AND NOTIFY DESIGN ENGINEER WHEN ELEVATIONS DO NOT MATCH PLANS.
7. WASTE SOIL SHALL BE HAULED TO AN APPROVED OFFSITE DISPOSAL SITE FURNISHED BY THE CONTRACTOR.
8. ALL FINISHED GRADES SHALL BE SMOOTH AND UNIFORM.
9. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. PROVIDE POSITIVE DRAINAGE TO ALL CATCH BASINS AND DRAINAGE STRUCTURES.
10. ALL CONCRETE SIDEWALKS SHALL HAVE A MINIMUM OF ONE PERCENT (1%) AND A MAXIMUM OF TWO PERCENT (2%) CROSS SLOPE. NO "TOLERANCES" ARE ALLOWED.
11. ALL CHANGES REQUIRE APPROVAL BY THE DESIGN ENGINEER AND/OR LANDSCAPE ARCHITECT.
12. IF GROUND WATER OR BEDROCK ARE ENCOUNTERED DURING THE CONSTRUCTION OF DRAINAGE RETENTION FACILITIES, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY. DRAINAGE FACILITY DIMENSIONS WILL BE REVISED AND PROVIDED TO THE CONTRACTOR.
13. ALL STORM DRAINAGE PIPING SHALL BE ADS N-12 (HDPE) DRAINAGE PIPE (SOLID WALL AND PERFORATED) OR ASTM 3034, SDR 35 PVC AS SHOWN IN PLAN.
14. ALL NON GRATED STORM DRAIN MANHOLE COVERS SHALL BE MARKED "STORM DRAIN".
15. CONCRETE COLLARS SHALL BE POURED AT ALL STORM DRAINAGE INLETS AND MANHOLES. COLLARS SHALL BE PLACED IN ACCORDANCE WITH I.S.P.W.C. SD-616.
16. PIPE TRENCH SHALL CONFORM TO DIVISION 300 OF THE LATEST EDITION OF THE I.S.P.W.C. AND SD-301. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 305 AND 306 OF THE I.S.P.W.C.
17. SUBSURFACE STORM WATER DISPOSAL FACILITIES (SEEPAGE BEDS) SHALL BE LOCATED A MINIMUM OF 25-FEET FROM POTABLE WATER MAINS AND 100-FEET FROM DOMESTIC WELLS.
18. PIPE LENGTHS SHOWN ARE NOT EXACT. ACTUAL INSTALLATION LENGTHS MAY VARY SLIGHTLY. LENGTHS ARE SHOWN FOR GENERAL INFORMATION ONLY.
19. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND IMPROVEMENTS. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS RESULTING FROM THE CONTRACTORS OPERATIONS, SHALL BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE.
20. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL CONCRETE AND DEBRIS FROM LANDSCAPE PLANTER AREAS PRIOR TO PLACEMENT OF TOPSOIL AND/OR INSTALLATION OF ANY LANDSCAPE MATERIALS BY THE LANDSCAPE CONTRACTOR.
21. ALL PROPOSED STORM DRAINAGE CATCH BASIN INLETS AND MANHOLES SHALL BE COVERED WITH FILTER FABRIC BY THE STORM DRAIN CONTRACTOR TO PREVENT CONTAMINATION OF STORM DRAINAGE FACILITIES. FABRIC SHALL NOT BE REMOVED UNTIL AFTER CONSTRUCTION IS COMPLETE AND LANDSCAPE TURF AREAS HAVE MATURED.
22. CARE SHALL BE TAKEN TO PREVENT DIRT AND OTHER SUPERFLUOUS MATERIALS FROM ENTERING STORM DRAINAGE FACILITIES DURING CONSTRUCTION.
23. MAINTAIN PRIVATE POTABLE/NONPOTABLE SEPARATIONS PER 2012 UPC SECTION 609. PUBLIC POTABLE/NONPOTABLE PIPE SEPARATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF I.S.P.W.C. SD-407 AND MUST BE WITNESSED BY THE ENGINEER PRIOR TO BACKFILL.
24. IF DISCHARGE OF WASTEWATER, SUCH AS FROM DEWATERING ACTIVITIES, WILL OCCUR, CONTRACTOR MUST OBTAIN A SHORT TERM ACTIVITY EXEMPTION FROM DEQ BOISE REGIONAL OFFICE. ALL WATER SHALL BE DISPOSED OF PER LOCAL AGENCY REQUIREMENTS.

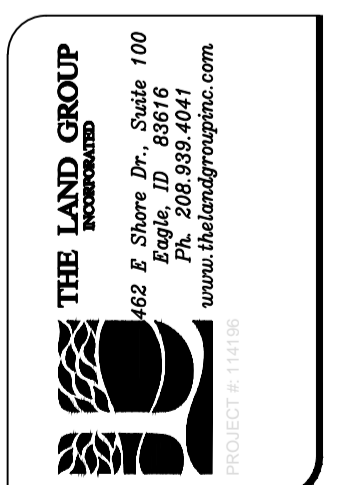
REVISIONS	
DESCRIPTION	DATE

OWNER

**RIVER STREET STORAGE**  
SOUTHWEST CORNER OF  
RIVER AND 13TH STREET  
BOISE, IDAHO

COPYRIGHT  
2014

Glancey ♦ Rockwell & Associates  
Architecture • Planning  
595 S Americana Boulevard Boise, Idaho 83702  
(208) 345-0566 (208) 345-1718 Fax (208) 387-0889  
office@grtboise.com

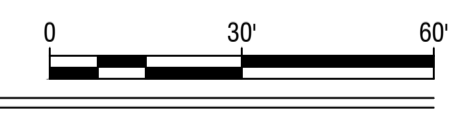


SHEET DATA	
DRAWN BY:	TLG
CHECKED BY:	TLG
SCALE:	AS NOTED
DATE:	3/25/2015
PROJECT #:	14050

SHEET NUMBER  
**C1.00**

**Conditional Use Permit- Site Plan**

HORIZONTAL SCALE: 1" = 30'





THE LAND GROUP, INC.

March 25, 2015

Cody Riddle  
Current Planning Manager  
Planning & Development Services  
Boise City Hall – 2<sup>nd</sup> Floor  
150 N. Capitol Blvd  
P.O. Box 500  
Boise, ID 83701-0500

Re: 13<sup>th</sup> and River Complex Conditional Use/Special Exception

Dear Mr. Riddle,

Attached to this letter is a Conditional Use Permit Application for a Special Exception for an urban self-storage facility and height exception from 45 feet to 55 feet for a 3-story office building.

The 2.566-acre site is located south of River Street, east of 13<sup>th</sup> Street in Boise, ID. The property is annexed in the City of Boise and is zoned R-OD. The Comprehensive Plan designation is Mixed-Use.

The property consists of eight parcels:

Address	Acres	APN
1201 W. River Street	1.934	R5011000052
1219 W. River Street	0.069	R5542250022
604 S. 13 <sup>th</sup> Street	0.083	R5542250012
606 S. 13 <sup>th</sup> Street	0.08	R5542250031
608 S. 13 <sup>th</sup> Street	0.08	R5542250041
610 S. 13 <sup>th</sup> Street	0.08	R5542250051
612 S. 13 <sup>th</sup> Street	0.08	R5542250061
614 S. 13 <sup>th</sup> Street	0.16	R5542250071

The project proposes to develop a three-story office building (Building A) approximately 14,000 SF on the corner of 13<sup>th</sup> and River Street; and a 45,286 SF of urban self-storage which consists of climate-controlled, ambient, and associated office and circulation areas in 3 buildings. All storage is internal to the site and within buildings. No outside storage is proposed.



The following is a detailed Building areas and Parking:

Office building: approximately 4667 SF/floor	14,000 SF
Storage Building B /Future Retail/Commercial	23,916 SF
Storage Building C:	18,370 SF
Storage Building D:	3,000 SF

Parking:

Office Building:	47 spaces
Storage Building:	5 spaces

A neighborhood meeting was held on Tuesday, January 20, 2015 at Idaho Records Management also on 9<sup>th</sup> and River Street. One neighbor, whose property is adjacent to the project, Mr. Marty Quinowski, attended. Attached is his email in support of the project.

The property is zoned RO-D. Self-storage is not a use contemplated in the RO zone, therefore, we respectfully request a Special Exception for this use.

Storage facilities are in high demand in the downtown area due to increases in urban housing, both single family and multi-family, and office and commercial uses. Downtown livable units are typically much smaller than suburban options – to attract more residents, options to keep your ‘stuff’ nearby will be important. Recreation opportunities in the downtown area also drive residential storage demand for bicycles, kayaks, and similar recreational equipment.

- Independent and In-house market analysis revealed additional demand of 133,000± square feet of new storage space within a 3 mile radius of the site. This demand is over and above the existing supply. This demand will increase in time as new apartment/condo projects come on line in the downtown core as well as the Lusk area.
- Existing facilities in the downtown core and within 2 to 3 miles of the site are 95% to 100% occupied.
- The applicant is also partners in Idaho Self Storage located at 9<sup>th</sup> and River, downtown Boise. Management reports indicate the facility is averaging 50 to 60± calls per month for new storage, and in the peak season (spring/summer) 90 to 110± calls per month. This is a very strong demand factor.
- The primary target market is downtown residences, BSU students, small businesses requiring inventory storage, and single family residences in the north end and foothills.
- The anticipated tenant mix is 70% residential and 30% commercial. Commercial accounts are small businesses that require storage space either in an ambient or climate controlled setting. Types of small businesses include but are not limited to retail purveyor’s, product representatives, pharmaceutical and medical representatives, plumbers, and electricians. The proposed facility is designed to have approximately 80% of climate controlled storage. There will be no outside storage of vehicles, boats, or recreational vehicles.

- Self-Storage in urban/high density areas is an important service related business. People moving to urban areas are typically downsizing and require additional storage not provided by apartments or condominiums. As dwelling footprints get smaller, the requirement for storage will only increase. Typical residential storage items include household items, bikes, kayaks, and other recreational items. Convenient access to stored items, within close proximity to residence or business, satisfy the self-storage needs of urban dwellers and businesses in an expedient manner.
- The use will produce reduced impacts, especially traffic, on the site and neighborhood. Industry standard is 7 vehicle trips per day per 100 units. This facility is designed to have approximately 400± units, which is anticipated to produce 28 vehicle trips per day on average.
- The use is compatible to the office and residential uses of the general area and will not place an undue burden on the existing transportation and service facilities in the vicinity.
- The site is sufficient size to accommodate the proposed use and use standards as required by Code.
- A site of adequate size with proper zoning for the use is not available in the general neighborhood.
- The proposed use is in compliance with and supports the goals and objectives of the Comprehensive plan. The Comprehensive plan is Mixed-Use. The proposed self-storage fills a demand and supports more residential in the downtown area.

The site will be accessed via two ACHD approved curb cuts, one on each street frontage. The alley access from River Street will be maintained and improved to serve both the project and continued access to the properties to the south.

#### Site Features:

- Buildings and eight foot tall masonry walls will be utilized to provide visual screening. All storage unit access is internal to the site.
- Utilities are readily available to serve the project.
- A 10 foot landscape and building setback on both River Street and 13<sup>th</sup> Street are provided.
- 52 parking stalls are provided.
- This site is not contiguous to the Pioneer Corridor connection but we will work with the adjacent property owners and new tenants if needed to enhance the pedestrian connection.

#### Architectural design:

- The 13<sup>th</sup> and River Complex will utilize building materials and techniques that promote water conservation and lower energy consumption.
- Storage building is designed with a horizontal feel complementing the Urban Parkway design for River Street designated Landscape Block.
- Special consideration has been given to the construction of the storage building fronting River Street allowing for easy conversion to Retail/Commercial/Office as market conditions may change in the future. Some features include:

- Building is to be constructed with taller interior space and wide open structural bays (not typically required for storage units), allowing an easy conversion to for either future Retail, Commercial or Office.
- River Street building façade will also be taller than typical storage units creating an ideal scale for a Retail/Commercial Storefront. Enhanced forms textures and colors make for an attractive building façade ideal for future conversion.
- Over fifty-percent of building facade is constructed with twelve foot high fenestration or block outs with which could be infilled with storefront glazing allowing easy conversion to a future Retail, Commercial or Office.
- Proposed office building enhances the mixed-use requirements of the project. Main floor of the building is also adaptable to other commercial uses such as coffee shop, deli or fitness facility.
- The scale of the proposed three-story office structure will complement surrounding neighborhood building massing's and land uses.
- The Project as currently proposed with high quality materials and versatility with design uses is appropriate for the neighborhood and the vision of the River Street-Myrtle Plan.

The proposed 13<sup>th</sup> and River Complex will fill a much needed demand in self-storage and assist in removing barriers to downtown living and attract more residents by proving a convenient and local facility to store personal and/or business items.

Thank you in advance for your time and consideration. Please feel free to contact me if there is any additional information we can provide to assist you in processing our application.

Sincerely,



Tamara Thompson  
Director of Client Services