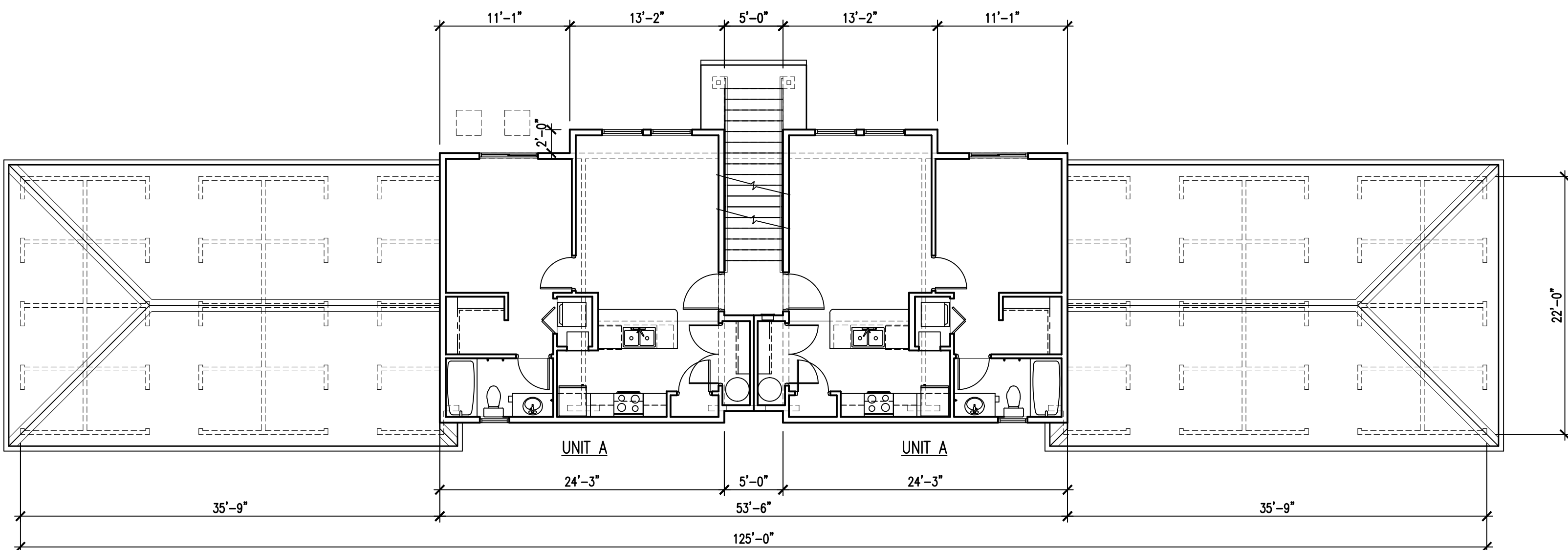
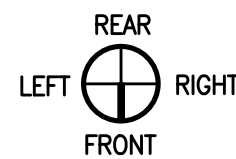


**BUILDING TYPE 1**  
**1 FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

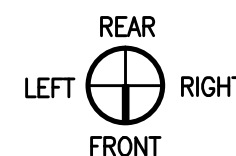
2,798 s.f. First Floor



**BUILDING TYPE 1**  
**2 SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

1,190 s.f. Second Floor

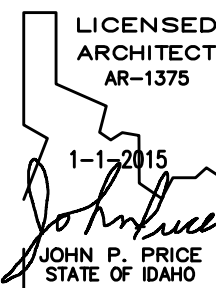


PROJECT

**SKYLINE**  
**APARTMENTS**

2105 S. FEDERAL WAY  
BOISE, IDAHO

SEAL



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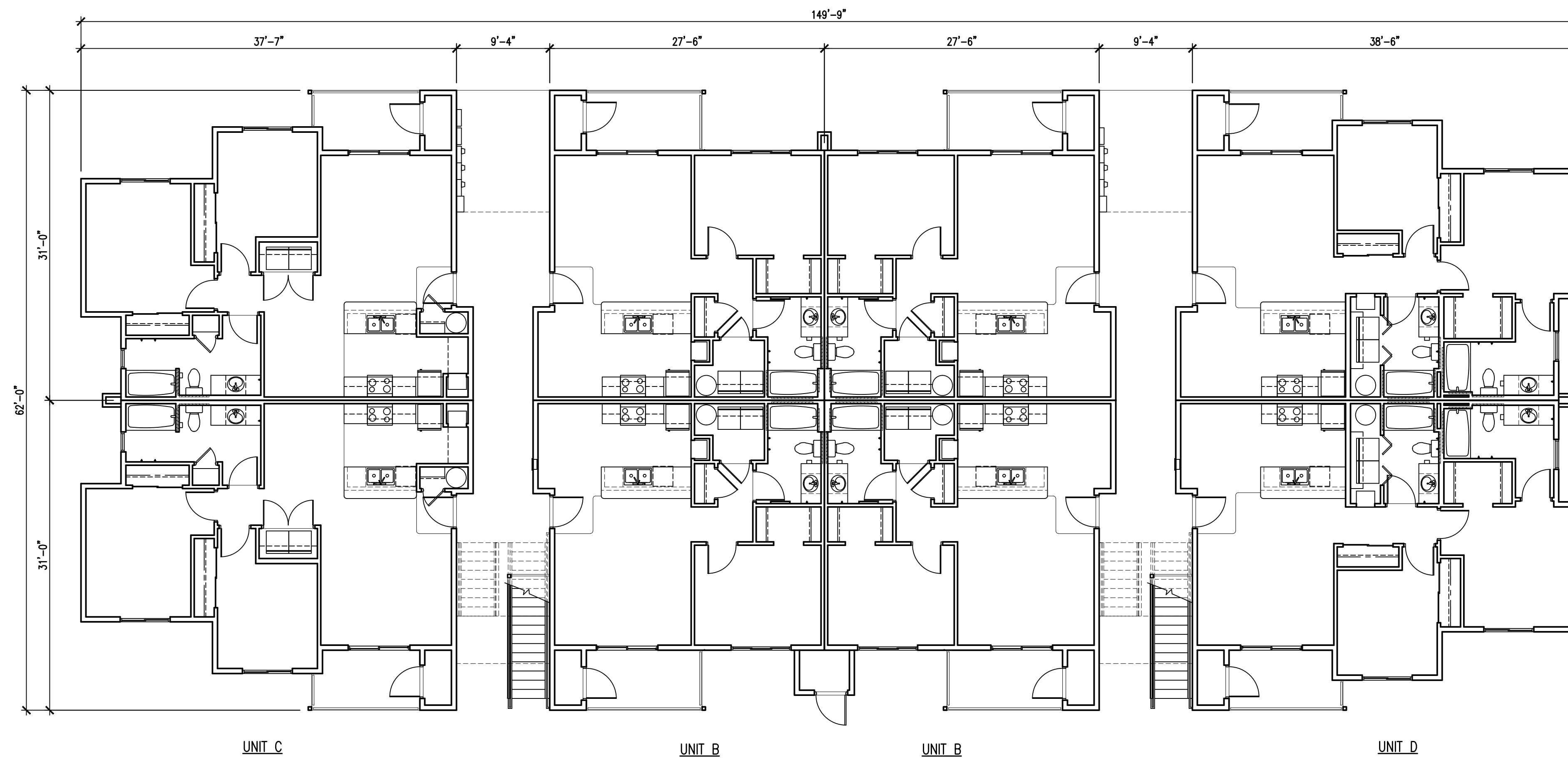
JOHN PRICE

REVISIONS

SHEET

**A2.0**

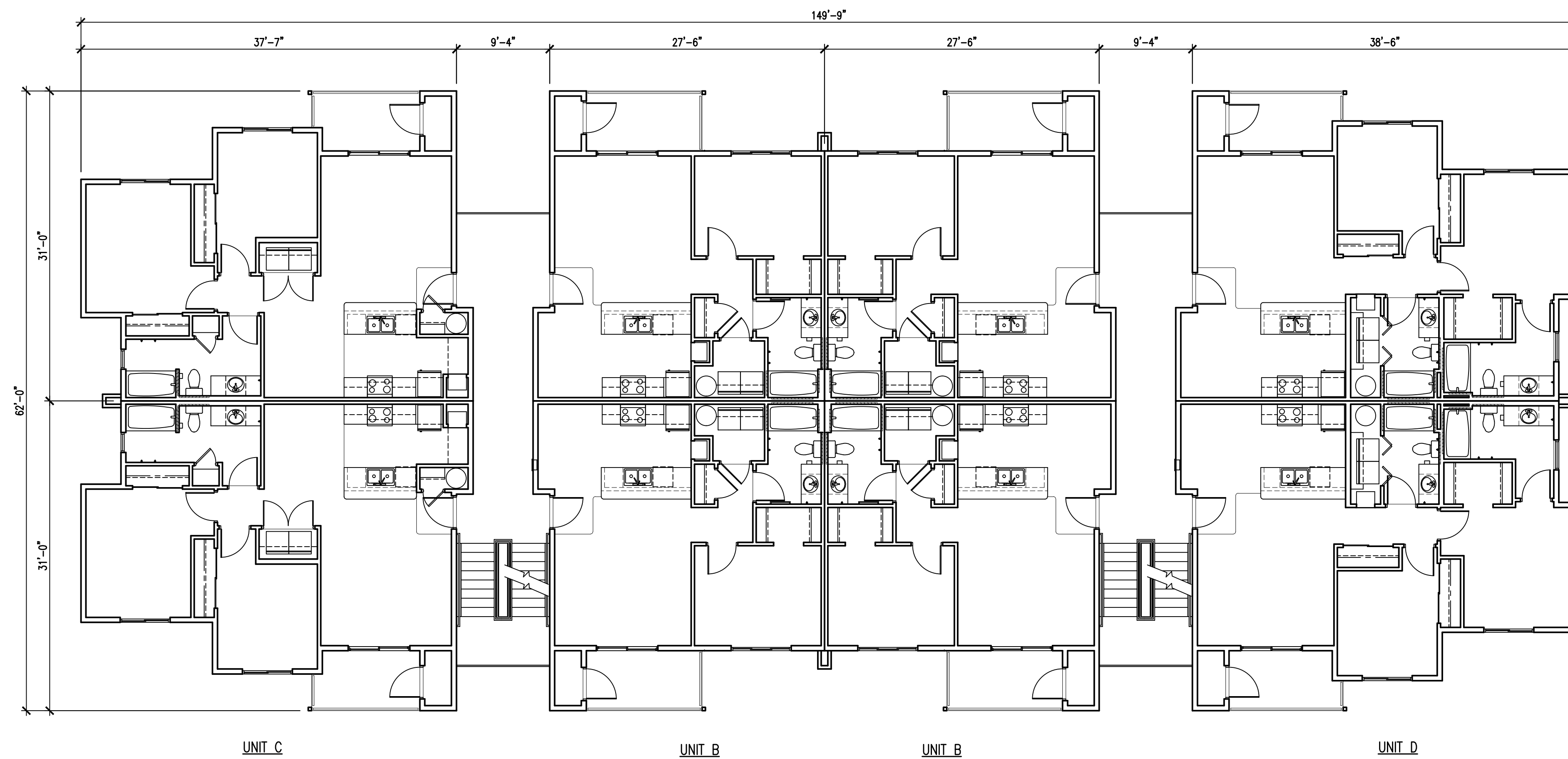
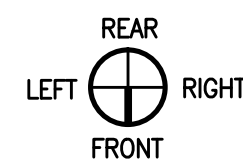
BUILDING TYPE 1  
FLOOR PLANS



**1 BUILDING TYPE 2  
FIRST FLOOR PLAN**

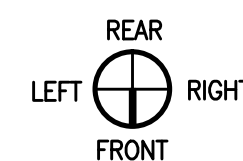
SCALE: 1/8" = 1'-0"

8,168 s.f. Per Floor  
24,504 s.f. Total



**2 BUILDING TYPE 2  
SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

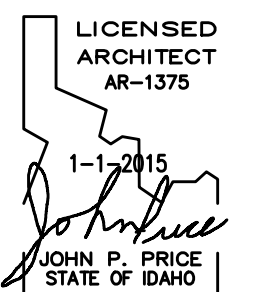


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**SKYLINE  
APARTMENTS**

2105 S. FEDERAL WAY  
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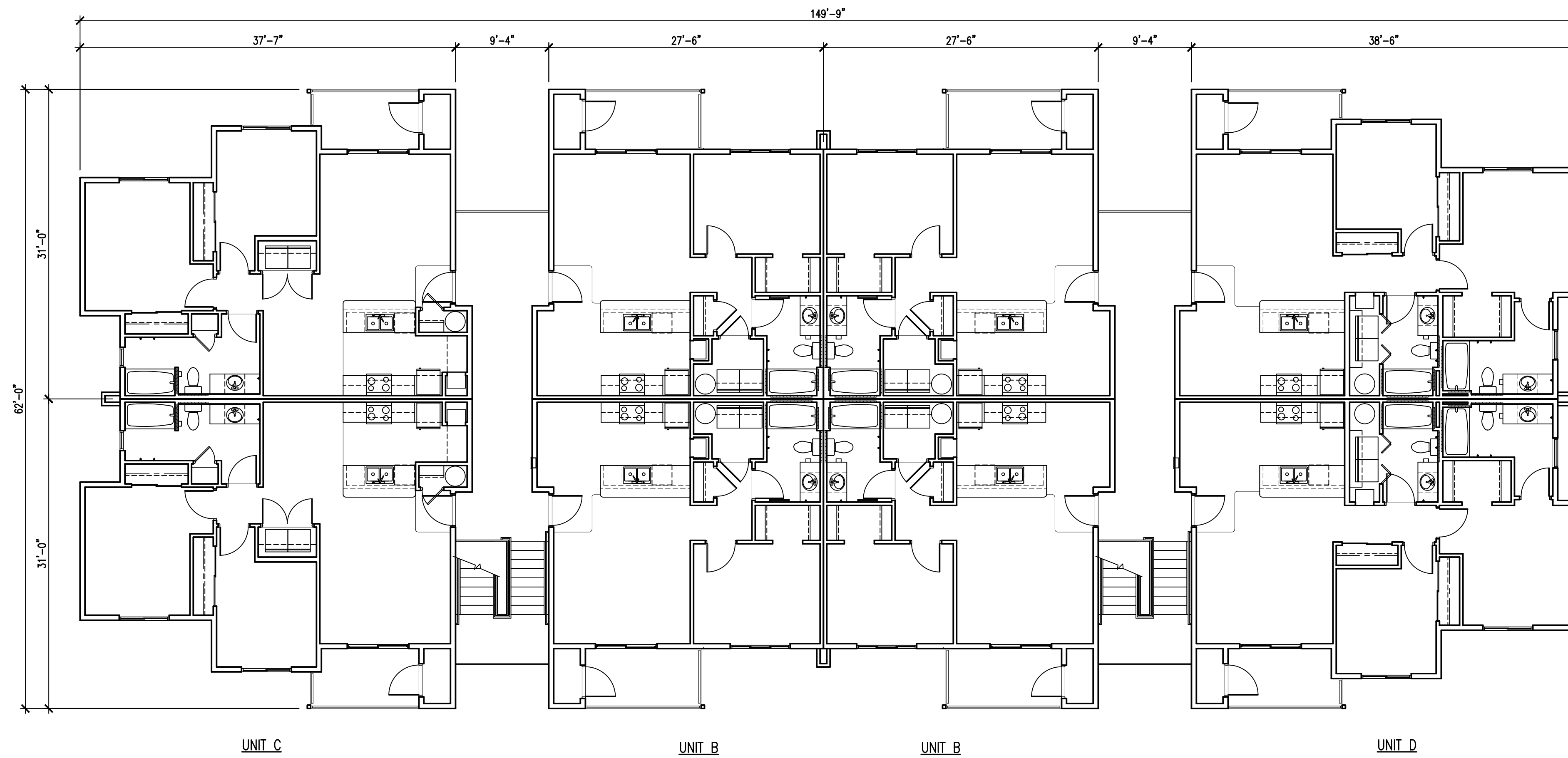
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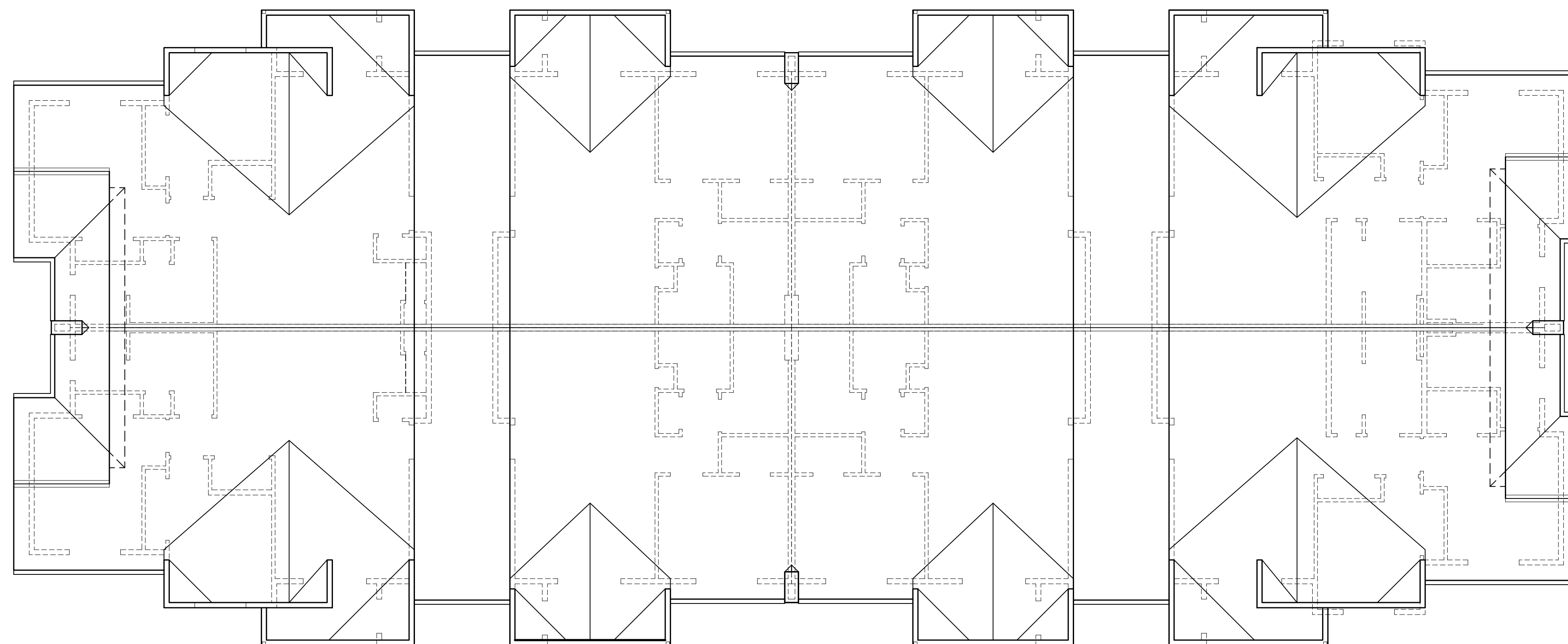
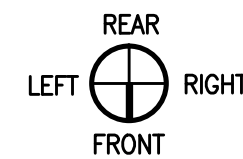
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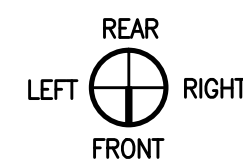
BUILDING TYPE 2  
FLOOR PLANS



**BUILDING TYPE 2**  
**1 THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BUILDING TYPE 2**  
**2 ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF PLAN LEGEND**

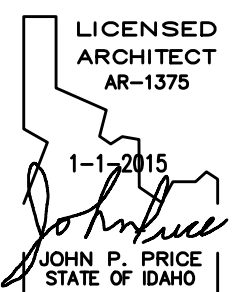
-----	THIRD FLOOR PLAN BELOW	----	DRAFTSTOP LOCATION
=====	GUTTER LOCATION.		

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**SKYLINE  
APARTMENTS**

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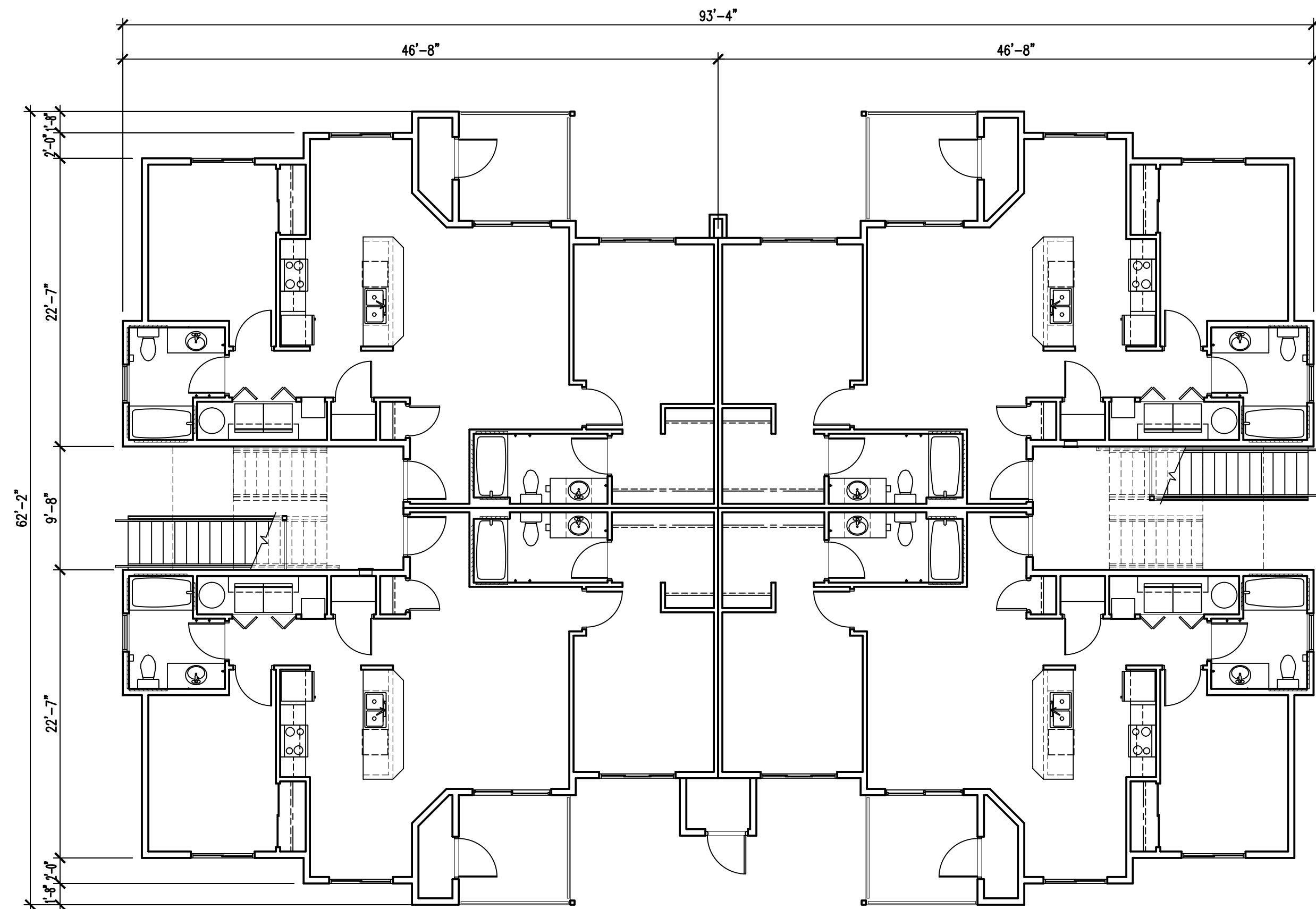
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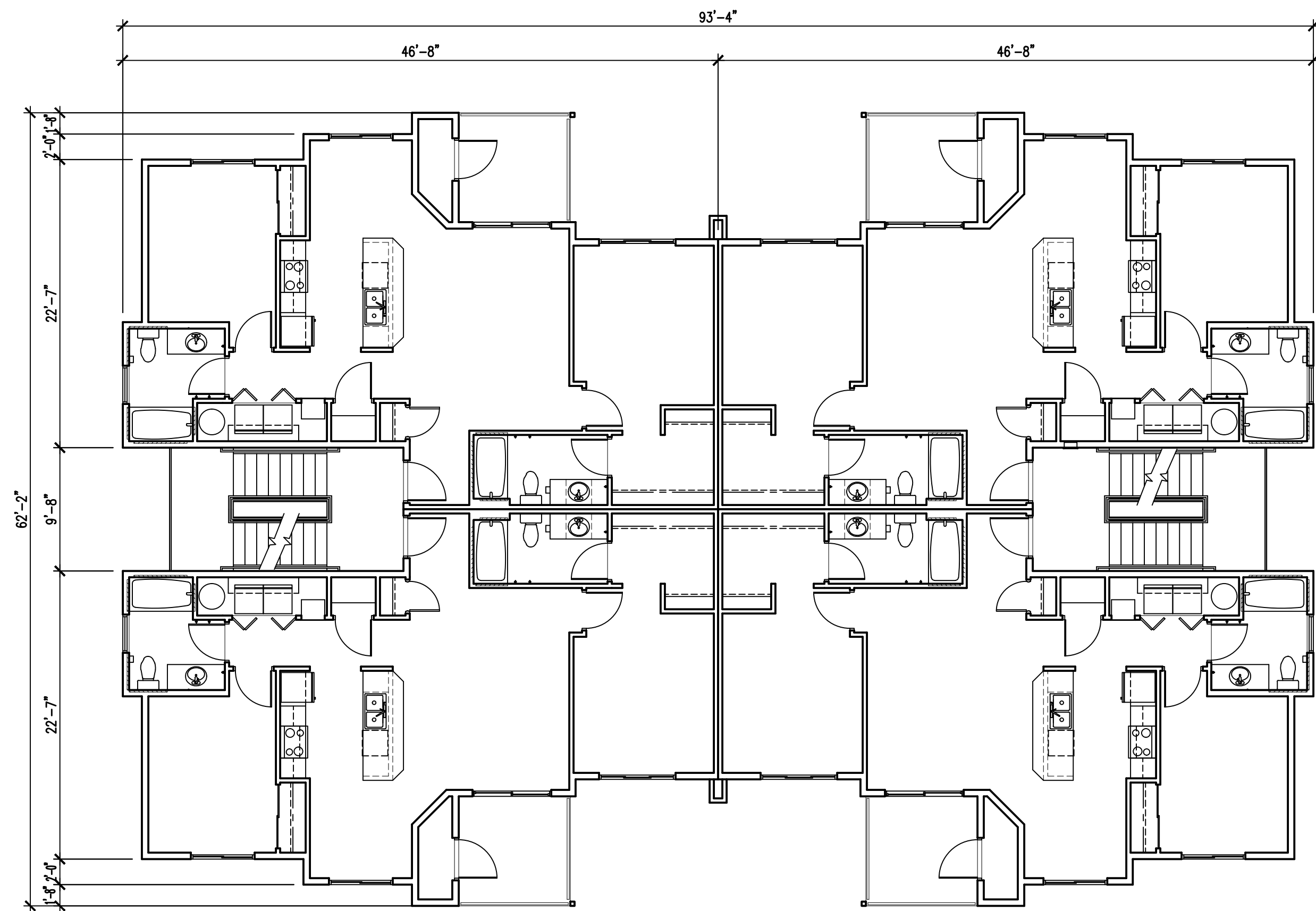
**A2.2**

BUILDING TYPE 2 FLOOR  
AND ROOF PLANS



**BUILDING TYPE 3**  
**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
4,508 s.f. Per Floor  
13,524 s.f. Total

REAR  
LEFT RIGHT  
FRONT



**BUILDING TYPE 3**  
**2 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

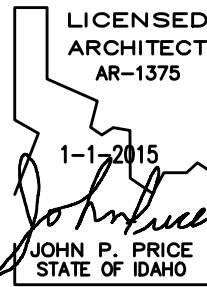
REAR  
LEFT RIGHT  
FRONT

PROJECT

**SKYLINE  
APARTMENTS**

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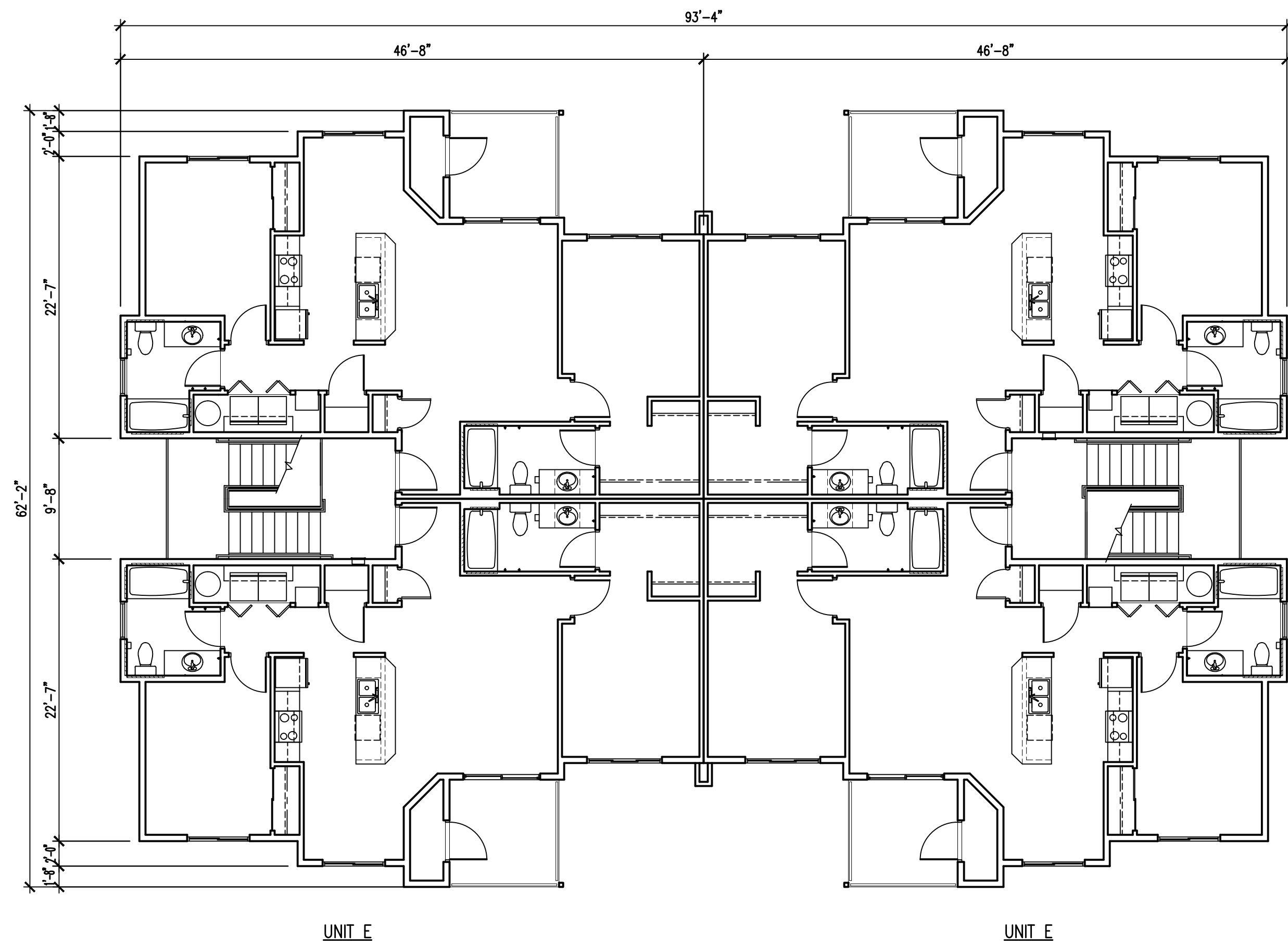
REVISIONS

SHEET

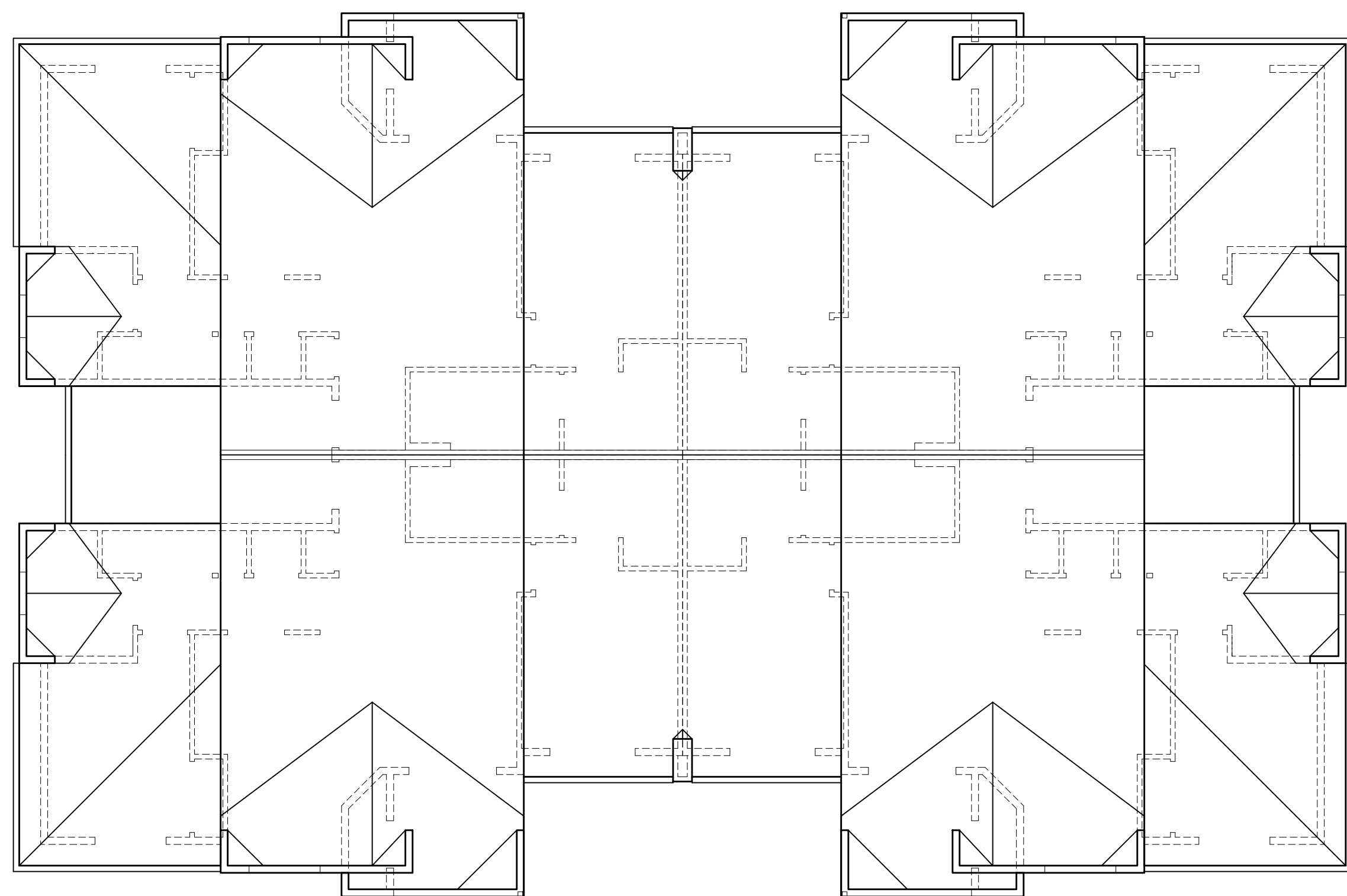
**A2.3**

BUILDING TYPE 3  
FLOOR PLANS





**BUILDING TYPE 3**  
**1 THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BUILDING TYPE 3**  
**2 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**ROOF PLAN LEGEND**

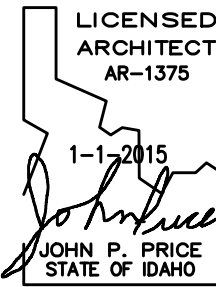
=====	THIRD FLOOR PLAN BELOW	-----	DRAFTSTOP LOCATION
=====	GUTTER LOCATION.		

PROJECT

**SKYLINE  
APARTMENTS**

2105 S. FEDERAL WAY  
BOISE, IDAHO

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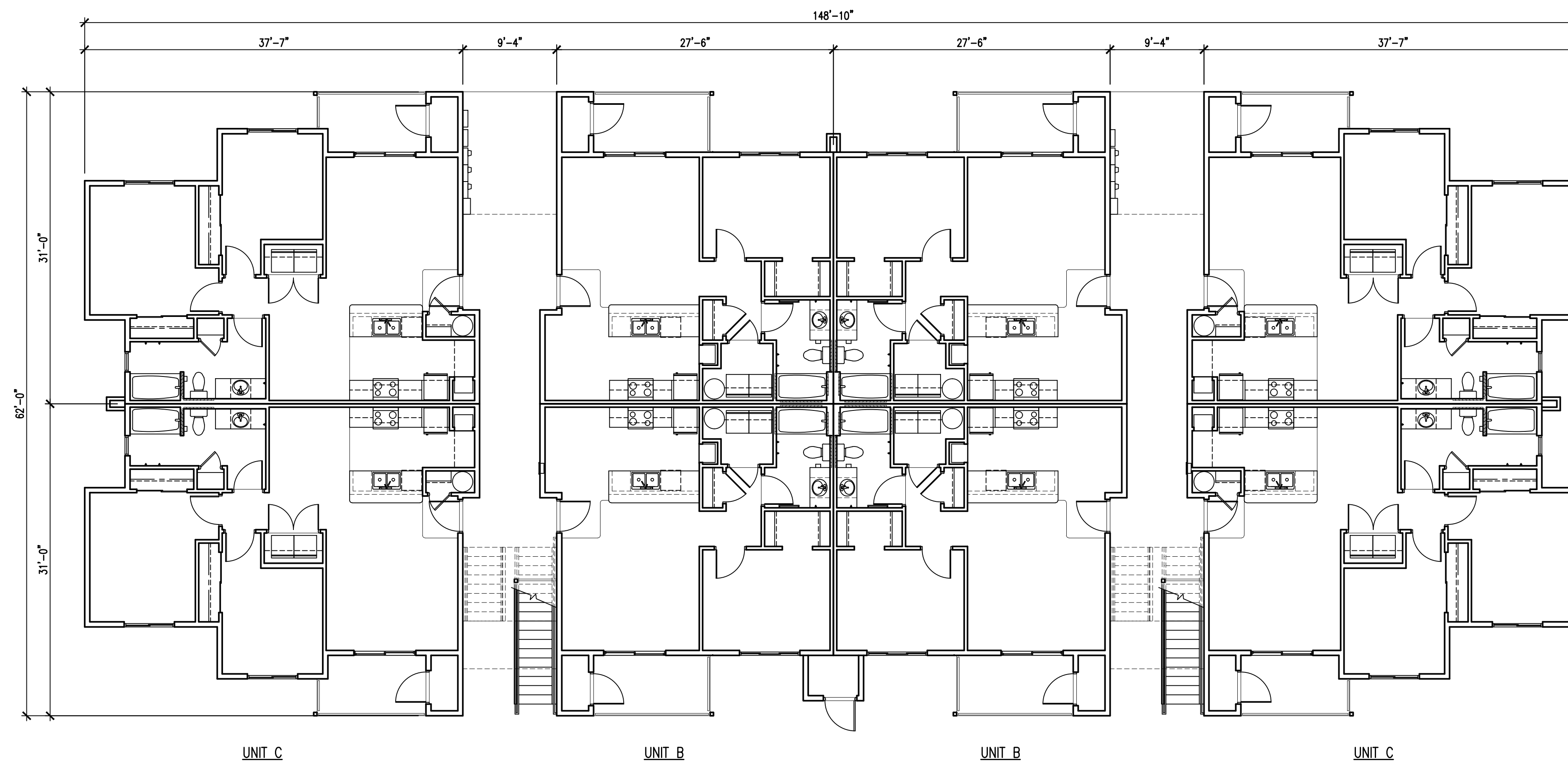
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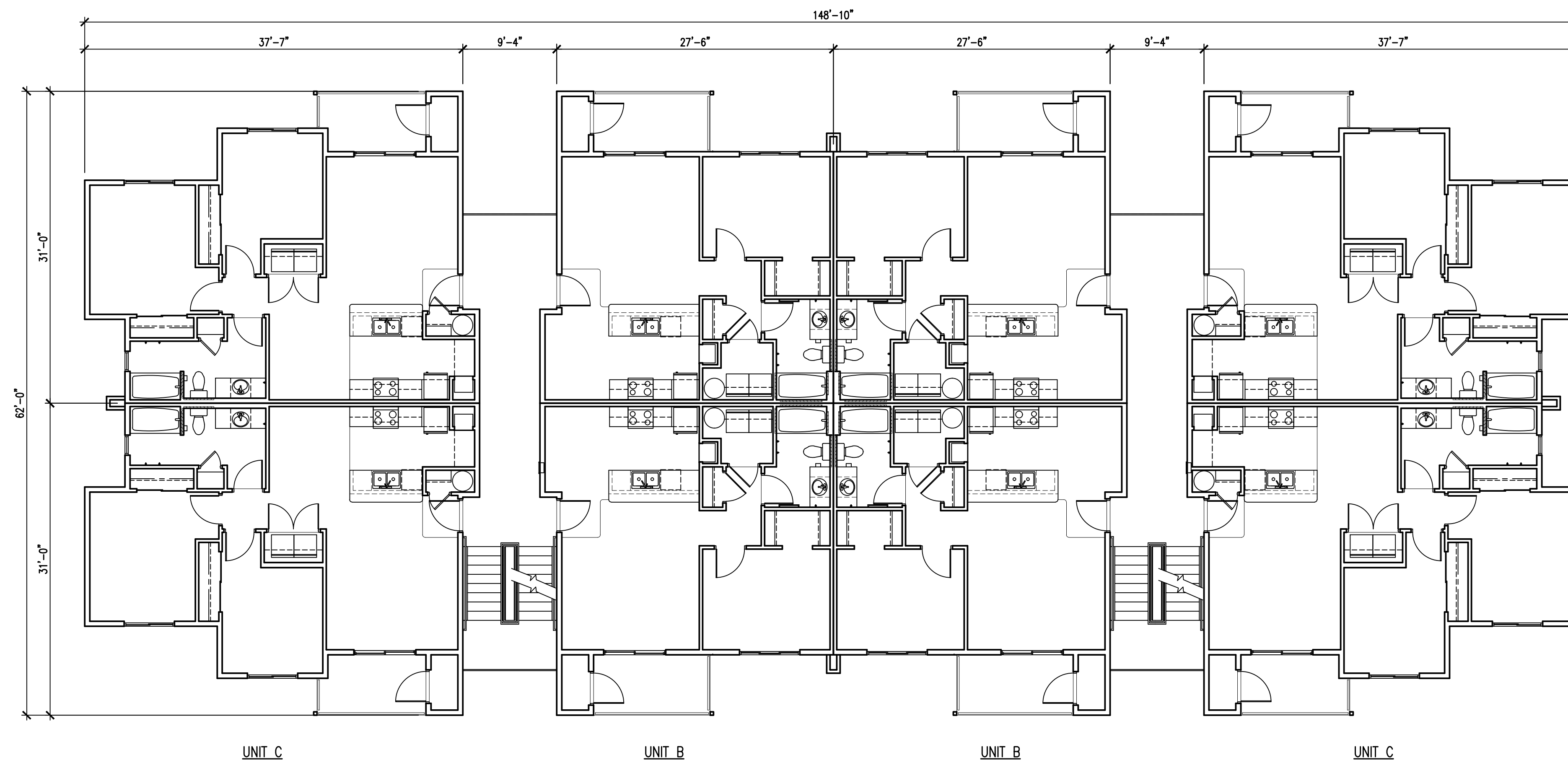
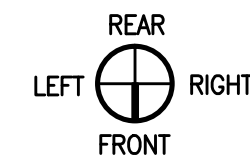
SHEET



# **BUILDING TYPE 4** **1 FIRST FLOOR PLAN**

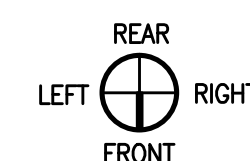
SCALE: 1/8" = 1'-0"

4,508 s.f. Per Floor  
13,524 s.f. Total



# **BUILDING TYPE 4** **2 SECOND FLOOR PLAN**

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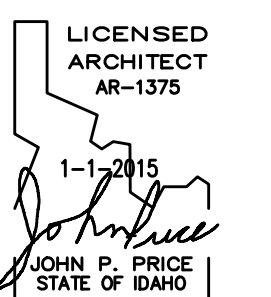


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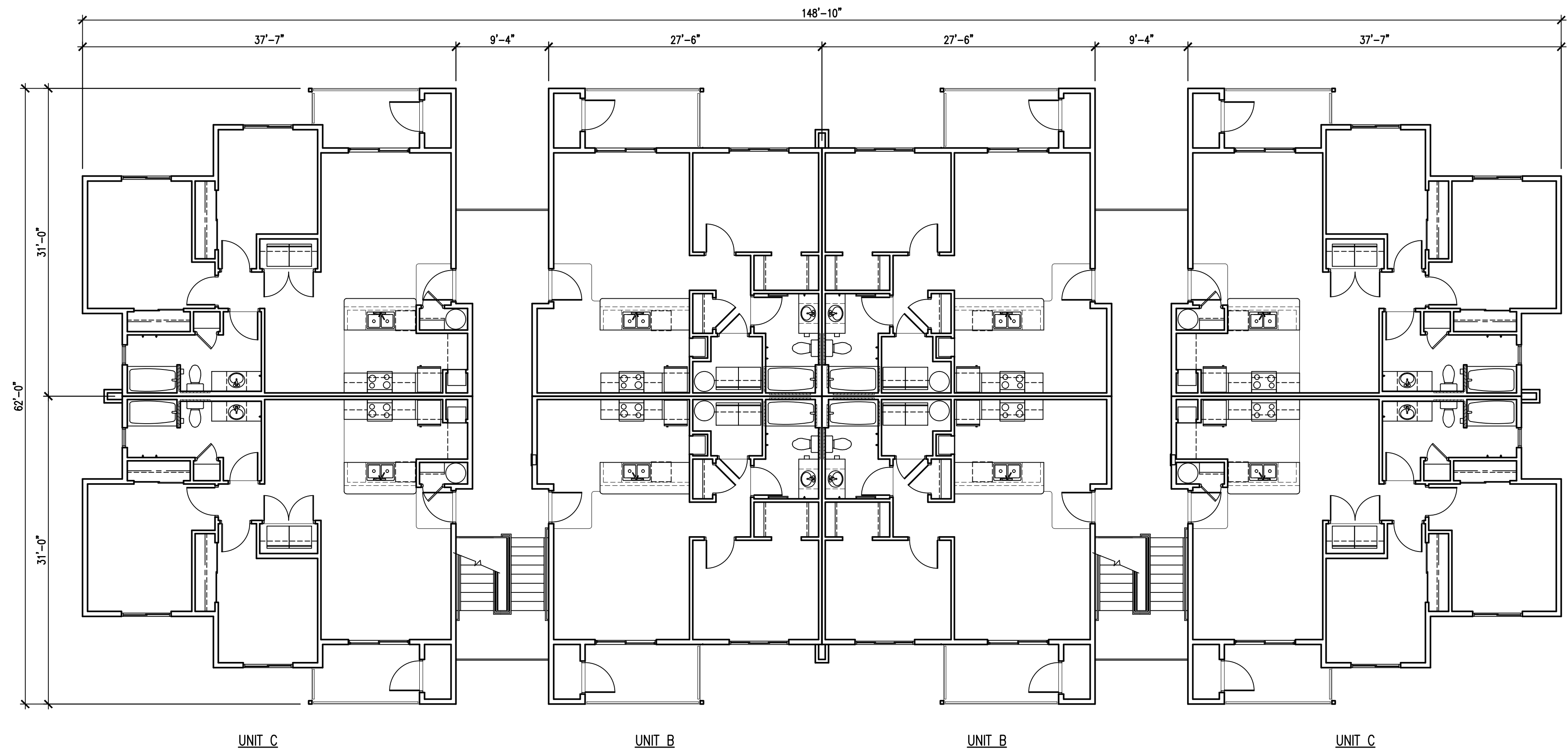
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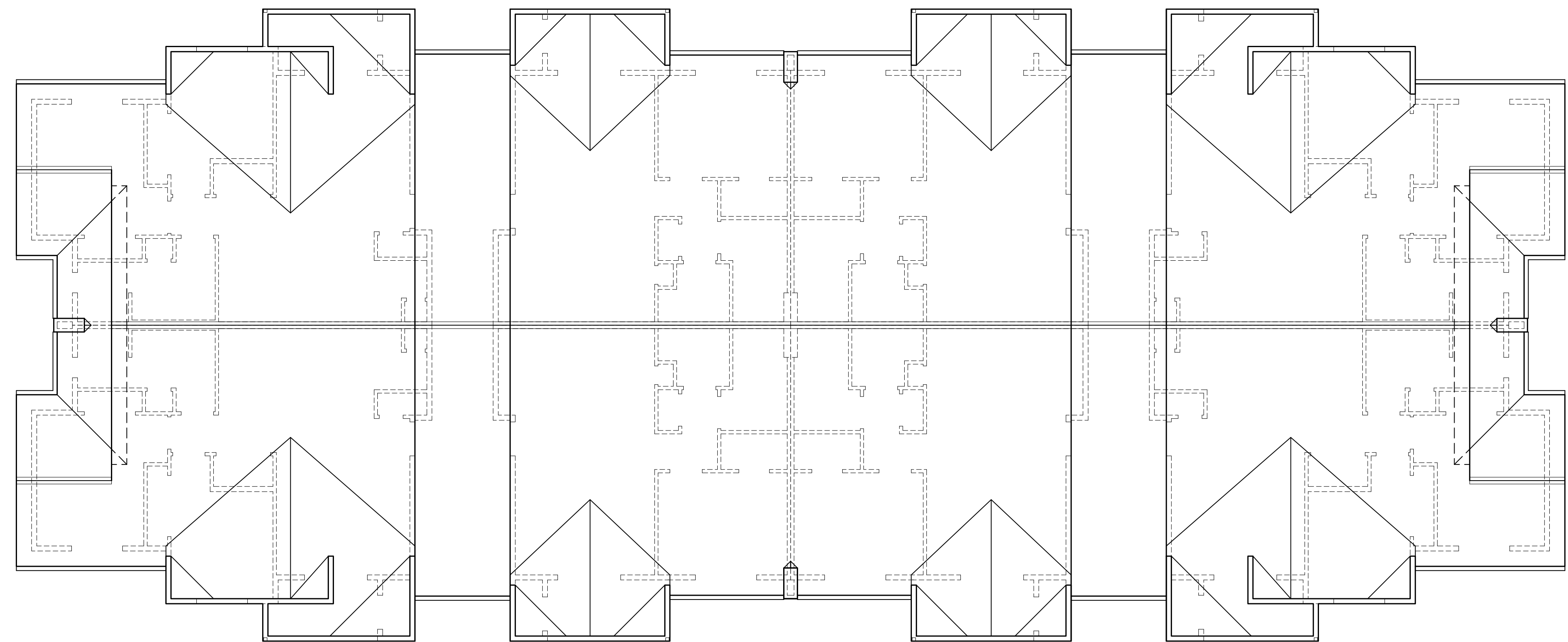
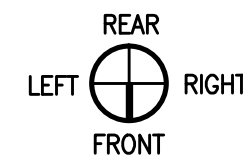
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**A2.5**

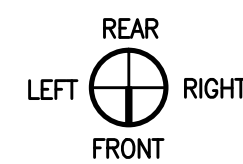
BUILDING TYPE 4  
FLOOR PLANS



**BUILDING TYPE 4**  
**1 THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BUILDING TYPE 4**  
**2 ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF PLAN LEGEND**

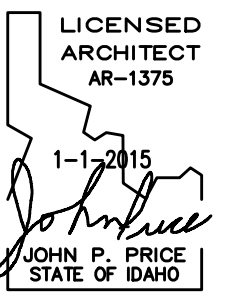
----	THIRD FLOOR PLAN BELOW	----	DRAFTSTOP LOCATION
=====	GUTTER LOCATION.		

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**SKYLINE  
APARTMENTS**

2105 S. FEDERAL WAY  
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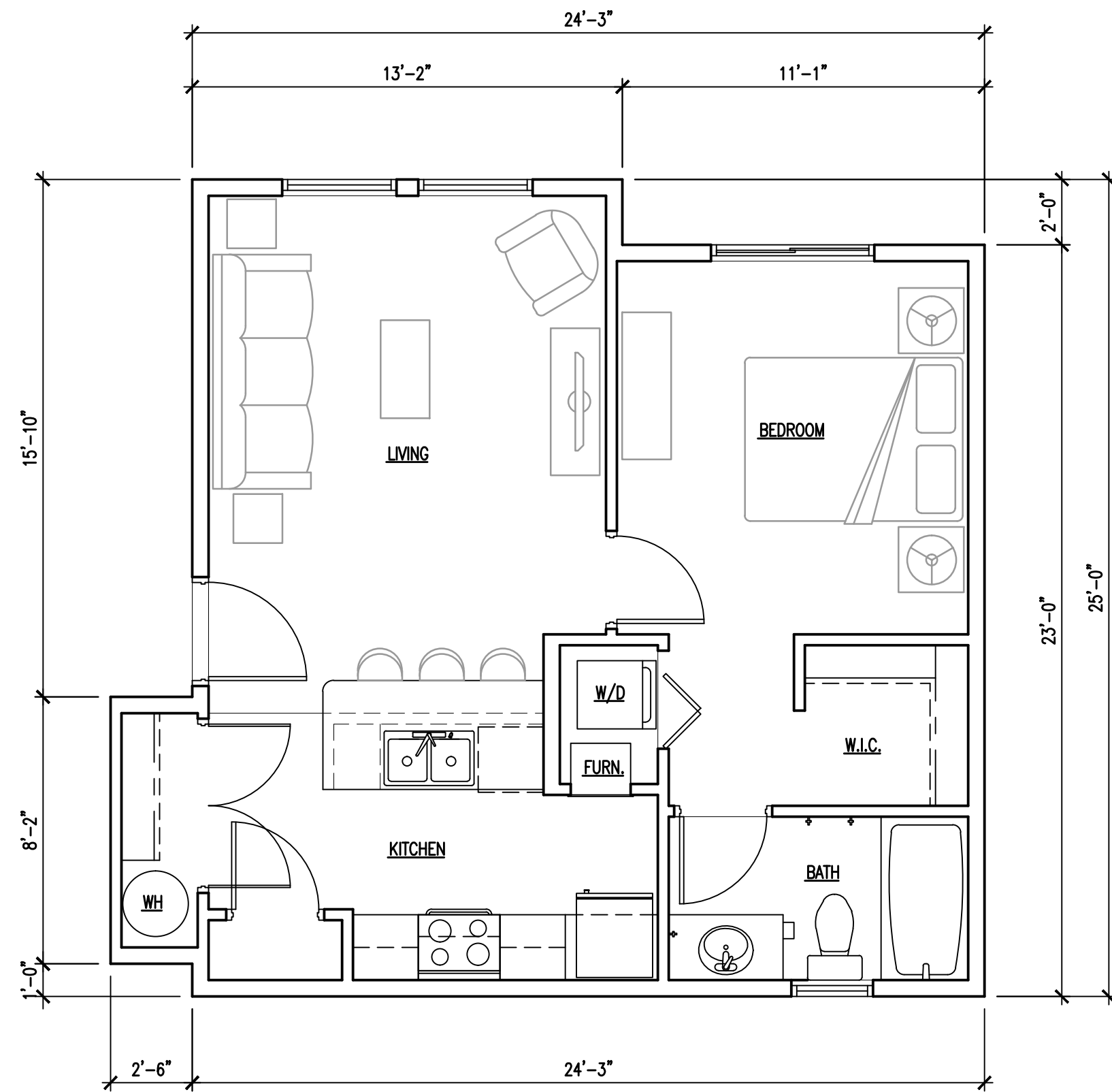
REVISIONS

SHEET

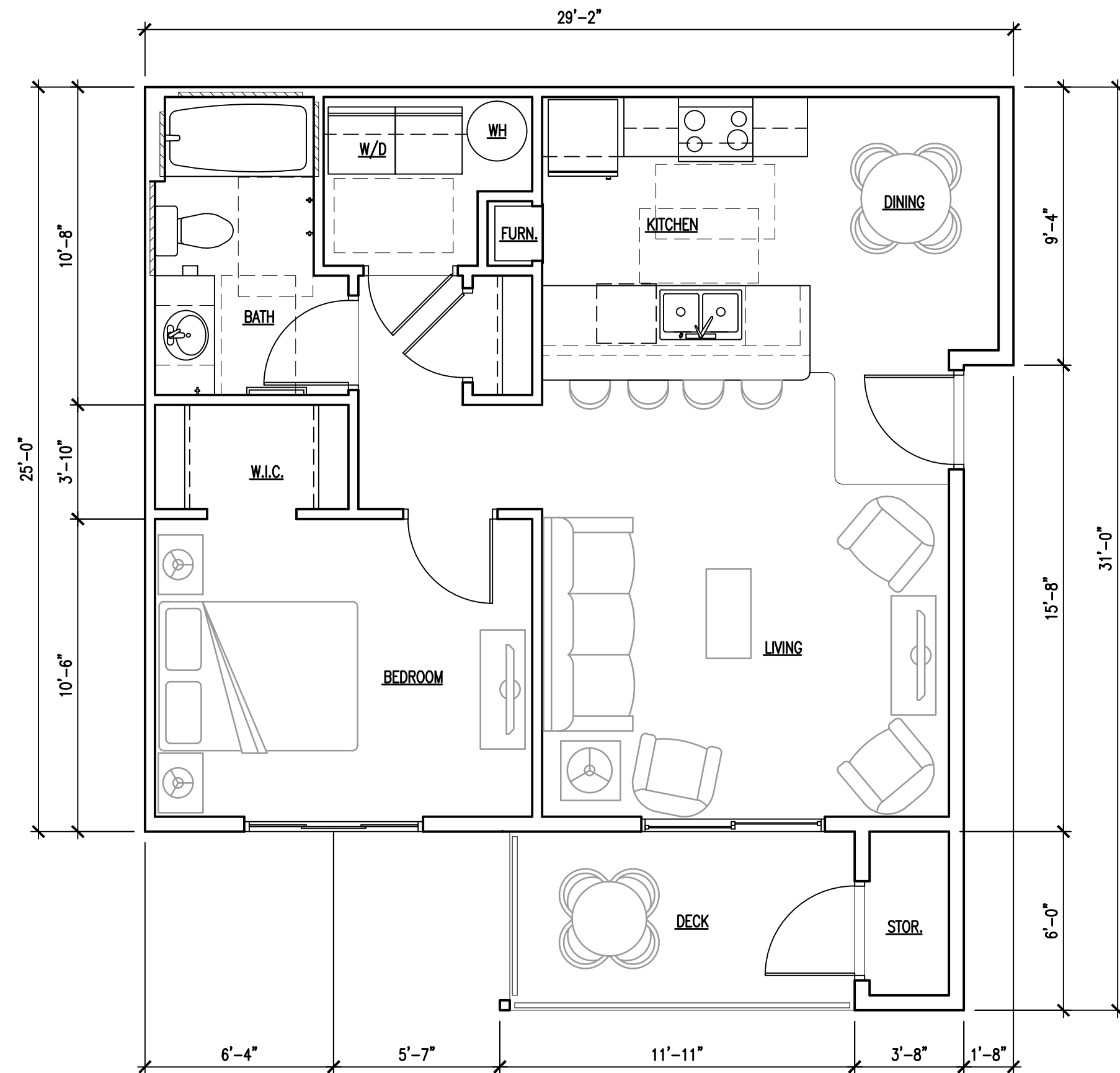
**A2.6**

BUILDING TYPE 4 FLOOR  
AND ROOF PLANS





**1 UNIT A FLOOR PLAN - STUDIO**  
SCALE: 1/4" = 1'-0"



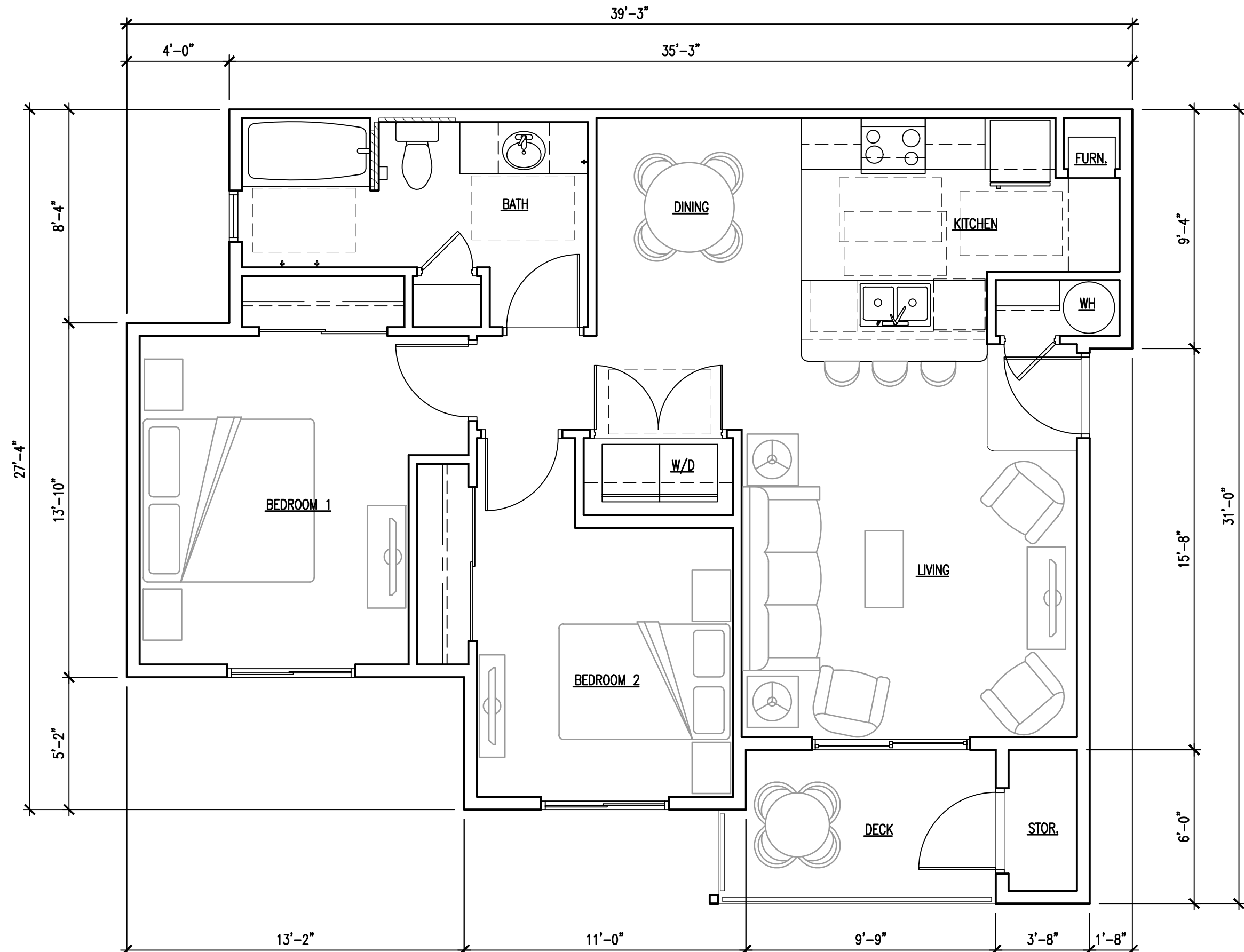
**2 UNIT B FLOOR PLAN - 1-BED, 1-BATH**  
SCALE: 1/4" = 1'-0"

## GENERAL NOTES

- PROVIDE 2x SOLID WOOD BLOCKING IN WALLS FOR GRAB BAR MOUNTING AS REQUIRED BY FEDERAL FAIR HOUSING GUIDELINES AND AT ALL TOWEL HOOKS, PAPER HOLDERS, GLUE ON WALL DOOR STOPS, CABINETS AND HANDICAP HARDWARE AS REQUIRED. SEE BATH ELEVATIONS.
- VERIFY ALL CABINET WALLS, CABINETS AND APPLIANCE DIMENSIONS HAVE REQUIRED CLEARANCES.
- ALL DIMENSIONS ARE TO FACE OF STUDS (FOS) UNLESS OTHERWISE NOTED.
- ANY THROUGH PENETRATION OR MEMBRANE PENETRATION OF FIRE-RESISTIVE CONSTRUCTION TO COMPLY WITH 2012 IBC SECTION 714. TESTED AND LISTED ASSEMBLIES TO BE PROVIDED TO FIELD INSPECTOR.
- GYPSUM BOARD MATERIALS SHALL CONFORM TO THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLE 2506.2 AND 2012 IBC CHAPTER 35. GYPSUM BOARD MATERIALS SHALL BE ASSEMBLED AND INSTALLED IN COMPLIANCE WITH THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLES 2508.1 AND 2012 IBC CHAPTER 35.
- INSULATING MATERIALS, WHERE CONCEALED, INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS DETERMINED BY ASTM E 84.
- ALL FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, GENERAL CONTRACTORS REQUIREMENTS AND CONFORM TO ALL BUILDING CODES.
- AT ALL UNITS:
  - LIGHT SWITCHES, BREAKER BOXES, & THERMOSTATS AT +48" MAX., TO TOP OF OPERABLE PARTS (VERIFY FINISH FLOOR).
  - OUTLETS AT +17" MIN. A.F.F. (VERIFY FINISH FLOOR) TO CENTERLINE OF LOWEST PLUG-IN
  - OUTLETS ABOVE COUNTERS AT 44" MAX. A.F.F. (VERIFY FINISH FLOOR) TO HIGHEST OVER THE COUNTER OUTLET.
  - THE MINIMUM HEIGHT IS TO THE BOTTOM RECEPTACLE AND THE MAXIMUM HEIGHT IS TO THE TOP RECEPTACLE ON DUPLEX OUTLETS.
- ALL FIRST FLOOR DWELLING UNITS TO MEET THE REQUIREMENTS OF THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT FAIR HOUSING ACCESSIBILITY GUIDELINES (DATED 3-6-91) AND THE REQUIREMENTS FOR "TYPE A" OR "TYPE B" DWELLING UNITS PER THE 2012 INTERNATIONAL BUILDING CODE AS NOTED.
- SEE SHEET A10.0 WALL TYPES FOR SPECIFIC WALL ASSEMBLIES.
- CHANGES IN FLOOR LEVEL WITH HEIGHTS BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1V:2H. LEVEL CHANGES GREATER THAN 1/2" ARE PROHIBITED.
- SEE SHEETS A0.4, A0.5 AND A0.6 FOR ADDITIONAL INFORMATION ON DWELLING UNIT ACCESSIBILITY REQUIREMENTS.
- AT ALL FIRST FLOOR UNITS: IF OPERABLE WINDOWS ARE PROVIDED, AT LEAST ONE WINDOW IN EACH SPACE (NOT INCLUDING BATHROOMS OR KITCHENS) SHALL BE ACCESSIBLE WITH WINDOW CONTROLS MOUNTED BELOW 48" A.F.F.
- AT "TYPE A" UNITS, ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR), WHICH INCLUDES OPERABLE WINDOWS, SINK & LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR HARDWARE.

## KEYNOTES

- FRAMING SUBCONTRACTOR TO VERIFY ALL TUB AND SHOWER TYPE AND DIMENSIONS FOR EACH UNIT WITH GENERAL CONTRACTOR.
- VINYL TO CARPET TRANSITION HERE. USE VINYL TRANSITION STRIP AS REQUIRED. TYPICAL ON ALL FLOOR LEVELS. SEE FINISH SCHEDULE.
- AT SECOND AND THIRD FLOOR DWELLING UNITS: INSULATE JOISTS UNDER TUBS AND SHOWERS AND AROUND DRAIN WITH FIBERGLASS INSULATION. EXTEND GYPSUM CONCRETE BELOW TUB/SHOWER OR ADD ADDITIONAL LAYER OF 3/4" FLOOR SHEATHING TO MAINTAIN 1-HOUR FLOOR CONSTRUCTION.
- 2X6 FRAMING AT TOILET WALL, 2X6 FRAMING AT WASHER/DRYER WALL.
- EXTEND 5/8" TYPE "X" GYPSUM BOARD BEHIND TUB AND SHOWER DOWN TO FLOOR AT FIRE RATED WALLS.
- INSULATE BOTH SIDES OF PARTY WALL WITH FIBERGLASS SOUND ATTENUATION BATTS. MATCH WALL WIDTH.
- DASHED LINES INDICATE 30" X 48" CLEAR FLOOR SPACE TO BE CENTERED AT FIXTURE OR APPLIANCE (TYPICAL AT ALL FIXTURES AND APPLIANCES).
- SEE DETAIL 11/A9.1 "TYPE A" DWELLING UNITS SLIDING DOOR THRESHOLD. SEE DETAIL 12/A9.1 "TYPE B" DWELLING UNITS SLIDING DOOR THRESHOLD. SEE DETAIL 13/A9.1 SECOND AND THIRD FLOOR DWELLING UNITS SLIDING DOOR THRESHOLD.
- CLOSET SHELVING TO BE WHITE EPOXY COATED VENTILATED STEEL WITH ROD. USE MANUFACTURERS ANCHORING SYSTEM AND SUPPORT BRACKETS. VERIFY SHELVING HEIGHTS WITH GENERAL CONTRACTOR. SEE 27/A6.0 FOR TYPICAL COAT CLOSET ELEVATION, SEE 14/A6.1 FOR TYPICAL MASTER CLOSET SHORT WALL ELEVATION AND SEE 15/A6.1 FOR TYPICAL 2ND AND 3RD BEDROOM CLOSET ELEVATION.
- NOT USED.
- PROVIDE HIGH AND LOW ROD & SHELF. CLOSET SHELVING TO BE WHITE EPOXY COATED VENTILATED STEEL WITH ROD. USE MANUFACTURERS ANCHORING SYSTEM AND SUPPORT BRACKETS. VERIFY SHELVING HEIGHTS WITH GENERAL CONTRACTOR. SEE 28/A6.0 FOR TYPICAL "TYPE A" UNIT COAT CLOSET ELEVATION, SEE 14/A6.1 FOR TYPICAL MASTER CLOSET LONG WALL ELEVATION AND SEE 16/A6.1 FOR TYPICAL "TYPE A" UNIT 2ND AND 3RD BEDROOM CLOSET ELEVATION.
- VINYL TO CARPET TRANSITION HERE. USE VINYL TRANSITION STRIP AS REQUIRED. TYPICAL AT 2ND AND 3RD FLOOR LEVELS ONLY. SEE FINISH SCHEDULE.
- HATCHED AREAS INDICATE BLOCKING REQUIRED FOR GRAB BARS, SEE BATHROOM ELEVATIONS.
- DASHED LINE INDICATES CEILING FURR-DOWN FOR MECHANICAL DUCTS BELOW 1-HR CEILING ASSEMBLY. FURR-DOWN TO BE 5/8" GYPSUM BOARD ON METAL FRAMING. SOFFIT OVER KITCHEN CABINETS TO MATCH DEPTH OF WALL CABINETS. KEEP OTHER SOFFITS AS TIGHT AS POSSIBLE TO MECHANICAL DUCTS WITH FINISH CEILING AS HIGH AS POSSIBLE. FINISH CEILING TO BE NO LOWER THAN 7'-0" A.F.F. AT ANY SOFFIT LOCATIONS. SEE SHEET A7.0 FOR ADDITIONAL NOTES.
- 36" HIGH METAL RAILING AT FIRST FLOOR WITH OPENING AS DIMENSIONED.
- FOR TYPICAL UTILITY CLOSET ELEVATION SEE 21/A6.0 SIM.
- DOORS AT FIRST FLOOR "TYPE B" ACCESSIBLE UNITS SHOWN. DASHED LINES INDICATE SECOND AND THIRD FLOOR DOORS. SEE DOOR SCHEDULE FOR SIZES.
- 20" X 30" ATTIC ACCESS HATCH WITH KEYED LOCK AT 3RD FLOOR ONLY. ONE ACCESS DOOR REQUIRED FOR EACH DRAFT STOPPED ATTIC AREA. FOUR REQUIRED PER BUILDING.
- PROVIDE TEMPERED SAFETY GLASS AT WINDOW UNIT BECAUSE OF LAUNDRY DOOR.
- MDF SHELVES. SEE DETAIL 29/A6.0 FOR TYPICAL PANTRY SHELVING.
- INSTALL OUTLET IN END OF PONY WALL 6" MAX. BELOW TOP COUNTER TOP.
- FOR UTILITY CLOSET ELEVATION, SEE 22/A6.1.
- FOR UTILITY CLOSET ELEVATION, SEE 23/A6.1.
- SHELVING TO BE WHITE EPOXY COATED VENTILATED STEEL. USE MANUFACTURERS ANCHORING SYSTEM AND SUPPORT BRACKETS. (4) SHELVES AT 1'-6" O.C.



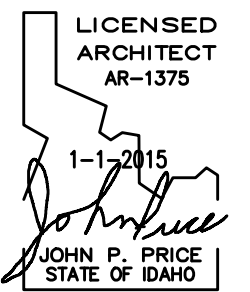
**3 UNIT C FLOOR PLAN - 2-BED, 1-BATH**  
SCALE: 1/4" = 1'-0"

## PROJECT

# SKYLINE APARTMENTS

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BOISE, IDAHO

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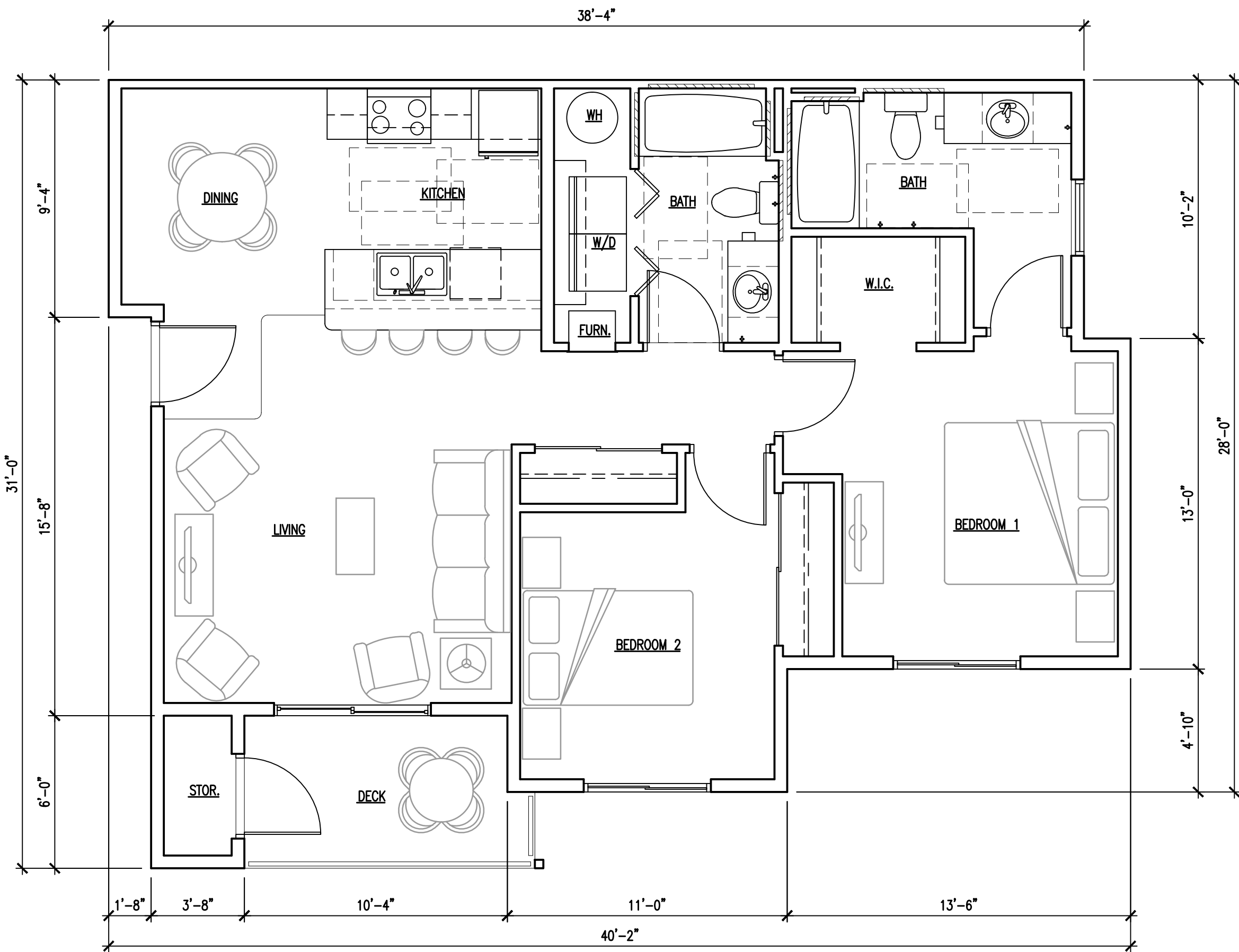
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## SHEET

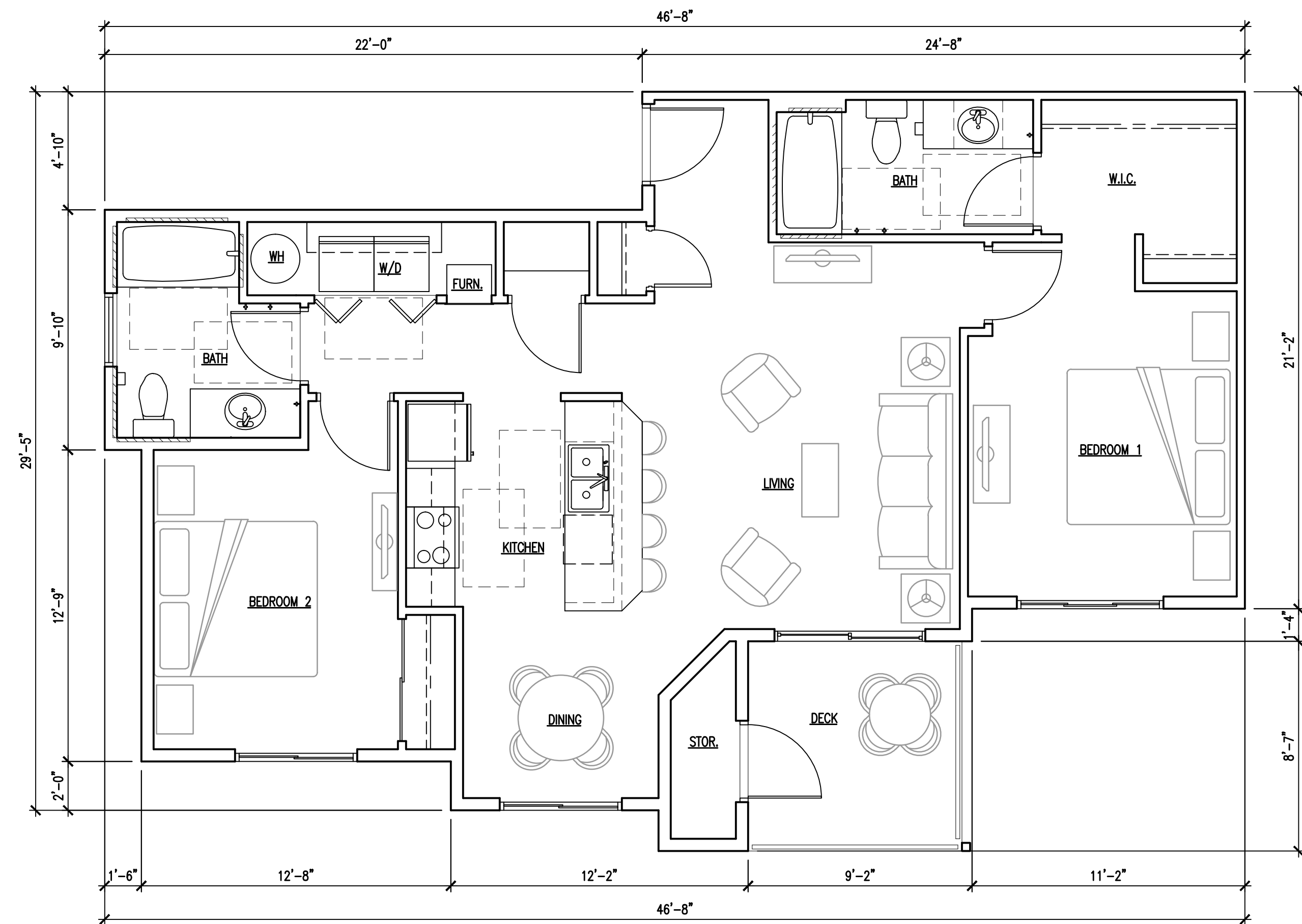
# A3.0

ENLARGED UNIT PLANS





**1 UNIT D FLOOR PLAN - 2-Bed, 2-Bath**  
SCALE: 1/4" = 1'-0"



**2 UNIT E FLOOR PLAN - 2-Bed, 2-Bath**  
SCALE: 1/4" = 1'-0"

## GENERAL NOTES

- PROVIDE 2x SOLID WOOD BLOCKING IN WALLS FOR GRAB BAR MOUNTING AS REQUIRED BY FEDERAL FAIR HOUSING GUIDELINES AND AT ALL TOWEL HOOKS, PAPER HOLDERS, GLUE ON WALL DOOR STOPS, CABINETS AND HANDICAP HARDWARE AS REQUIRED. SEE BATH ELEVATIONS.
- VERIFY ALL CABINET WALLS, CABINETS AND APPLIANCE DIMENSIONS HAVE REQUIRED CLEARANCES.
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- ALL FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, GENERAL CONTRACTORS REQUIREMENTS AND CONFORM TO ALL BUILDING CODES.
- AT ALL UNITS:
  - LIGHT SWITCHES, BREAKER BOXES, & THERMOSTATS AT +48" MAX., TO TOP OF OPERABLE PARTS (VERIFY FINISH FLOOR).
  - OUTLETS AT +17" MIN. A.F.F. (VERIFY FINISH FLOOR) TO CENTERLINE OF LOWEST PLUG-IN
  - OUTLETS ABOVE COUNTERS AT 44" MAX. A.F.F. (VERIFY FINISH FLOOR) TO HIGHEST OVER THE COUNTER OUTLET.
  - THE MINIMUM HEIGHT IS TO THE BOTTOM RECEPTACLE AND THE MAXIMUM HEIGHT IS TO THE TOP RECEPTACLE ON DUPLEX OUTLETS.
- ALL FIRST FLOOR DWELLING UNITS TO MEET THE REQUIREMENTS OF THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT FAIR HOUSING ACCESSIBILITY GUIDELINES (DATED 3-6-91) AND THE REQUIREMENTS FOR "TYPE A" OR "TYPE B" DWELLING UNITS PER THE 2012 INTERNATIONAL BUILDING CODE AS NOTED.
- SEE SHEET A10.0 WALL TYPES FOR SPECIFIC WALL ASSEMBLIES.
- CHANGES IN FLOOR LEVEL WITH HEIGHTS BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1V:2H. LEVEL CHANGES GREATER THAN 1/2" ARE PROHIBITED.
- SEE SHEETS A0.4, A0.5 AND A0.6 FOR ADDITIONAL INFORMATION ON DWELLING UNIT ACCESSIBILITY REQUIREMENTS.
- AT ALL FIRST FLOOR UNITS: IF OPERABLE WINDOWS ARE PROVIDED, AT LEAST ONE WINDOW IN EACH SPACE (NOT INCLUDING BATHROOMS OR KITCHENS) SHALL BE ACCESSIBLE WITH WINDOW CONTROLS MOUNTED BELOW 48" A.F.F.
- AT "TYPE A" UNITS, ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR), WHICH INCLUDES OPERABLE WINDOWS, SINK & LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR HARDWARE.

## KEYNOTES

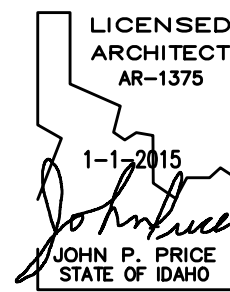
- FRAMING SUBCONTRACTOR TO VERIFY ALL TUB AND SHOWER TYPE AND DIMENSIONS FOR EACH UNIT WITH GENERAL CONTRACTOR.
- VINYL TO CARPET TRANSITION HERE. USE VINYL TRANSITION STRIP AS REQUIRED. TYPICAL ON ALL FLOOR LEVELS. SEE FINISH SCHEDULE.
- AT SECOND AND THIRD FLOOR DWELLING UNITS: INSULATE JOISTS UNDER TUBS AND SHOWERS AND AROUND DRAIN WITH FIBERGLASS INSULATION. EXTEND GYPSUM CONCRETE BELOW TUB/SHOWER OR ADD ADDITIONAL LAYER OF 3/4" FLOOR SHEATHING TO MAINTAIN 1-HOUR FLOOR CONSTRUCTION.
- 2X6 FRAMING AT TOILET WALL, 2X6 FRAMING AT WASHER/DRYER WALL.
- EXTEND 5/8" TYPE "X" GYPSUM BOARD BEHIND TUB AND SHOWER DOWN TO FLOOR AT FIRE RATED WALLS.
- INSULATE BOTH SIDES OF PARTY WALL WITH FIBERGLASS SOUND ATTENUATION BATTS. MATCH WALL WIDTH.
- DASHED LINES INDICATE 30" X 48" CLEAR FLOOR SPACE TO BE CENTERED AT FIXTURE OR APPLIANCE (TYPICAL AT ALL FIXTURES AND APPLIANCES).
- SEE DETAIL 11/A9.1 "TYPE A" DWELLING UNITS SLIDING DOOR THRESHOLD. SEE DETAIL 12/A9.1 "TYPE B" DWELLING UNITS SLIDING DOOR THRESHOLD. SEE DETAIL 13/A9.1 SECOND AND THIRD FLOOR DWELLING UNITS SLIDING DOOR THRESHOLD.
- CLOSET SHELVING TO BE WHITE EPOXY COATED VENTILATED STEEL WITH ROD. USE MANUFACTURERS ANCHORING SYSTEM AND SUPPORT BRACKETS. VERIFY SHELVING HEIGHTS WITH GENERAL CONTRACTOR. SEE 27/A6.0 FOR TYPICAL COAT CLOSET ELEVATION, SEE 14/A6.1 FOR TYPICAL MASTER CLOSET SHORT WALL ELEVATION AND SEE 15/A6.1 FOR TYPICAL 2ND AND 3RD BEDROOM CLOSET ELEVATION.
- NOT USED.
- PROVIDE HIGH AND LOW ROD & SHELF. CLOSET SHELVING TO BE WHITE EPOXY COATED VENTILATED STEEL WITH ROD. USE MANUFACTURERS ANCHORING SYSTEM AND SUPPORT BRACKETS. VERIFY SHELVING HEIGHTS WITH GENERAL CONTRACTOR. SEE 28/A6.0 FOR TYPICAL "TYPE A" UNIT COAT CLOSET ELEVATION, SEE 14/A6.1 FOR TYPICAL MASTER CLOSET LONG WALL ELEVATION AND SEE 16/A6.1 FOR TYPICAL "TYPE A" UNIT 2ND AND 3RD BEDROOM CLOSET ELEVATION.
- VINYL TO CARPET TRANSITION HERE. USE VINYL TRANSITION STRIP AS REQUIRED. TYPICAL AT 2ND AND 3RD FLOOR LEVELS ONLY. SEE FINISH SCHEDULE.
- HATCHED AREAS INDICATE BLOCKING REQUIRED FOR GRAB BARS, SEE BATHROOM ELEVATIONS.
- DASHED LINE INDICATES CEILING FURR-DOWN FOR MECHANICAL DUCTS BELOW 1-HR CEILING ASSEMBLY. FURR-DOWN TO BE 5/8" GYPSUM BOARD ON METAL FRAMING. SOFFIT OVER KITCHEN CABINETS TO MATCH DEPTH OF WALL CABINETS. KEEP OTHER SOFFITS AS TIGHT AS POSSIBLE TO MECHANICAL DUCTS WITH FINISH CEILING AS HIGH AS POSSIBLE. FINISH CEILING TO BE NO LOWER THAN 7'-0" A.F.F. AT ANY SOFFIT LOCATIONS. SEE SHEET A7.0 FOR ADDITIONAL NOTES.
- 36" HIGH METAL RAILING AT FIRST FLOOR WITH OPENING AS DIMENSIONED.
- FOR TYPICAL UTILITY CLOSET ELEVATION SEE 21/A6.0 SIM.
- DOORS AT FIRST FLOOR "TYPE B" ACCESSIBLE UNITS SHOWN. DASHED LINES INDICATE SECOND AND THIRD FLOOR DOORS. SEE DOOR SCHEDULE FOR SIZES.
- 20" X 30" ATTIC ACCESS HATCH WITH KEYED LOCK AT 3RD FLOOR ONLY. ONE ACCESS DOOR REQUIRED FOR EACH DRAFT STOPPED ATTIC AREA. FOUR REQUIRED PER BUILDING.
- PROVIDE TEMPERED SAFETY GLASS AT WINDOW UNIT BECAUSE OF LAUNDRY DOOR.
- MDF SHELVES. SEE DETAIL 29/A6.0 FOR TYPICAL PANTRY SHELVING.
- INSTALL OUTLET IN END OF PONY WALL 6" MAX. BELOW TOP COUNTER TOP.
- FOR UTILITY CLOSET ELEVATION, SEE 22/A6.1.
- FOR UTILITY CLOSET ELEVATION, SEE 23/A6.1.
- SHELVING TO BE WHITE EPOXY COATED VENTILATED STEEL. USE MANUFACTURERS ANCHORING SYSTEM AND SUPPORT BRACKETS. (4) SHELVES AT 1'-6" O.C.

### PROJECT

## SKYLINE APARTMENTS

2105 S. FEDERAL WAY  
BOISE, IDAHO

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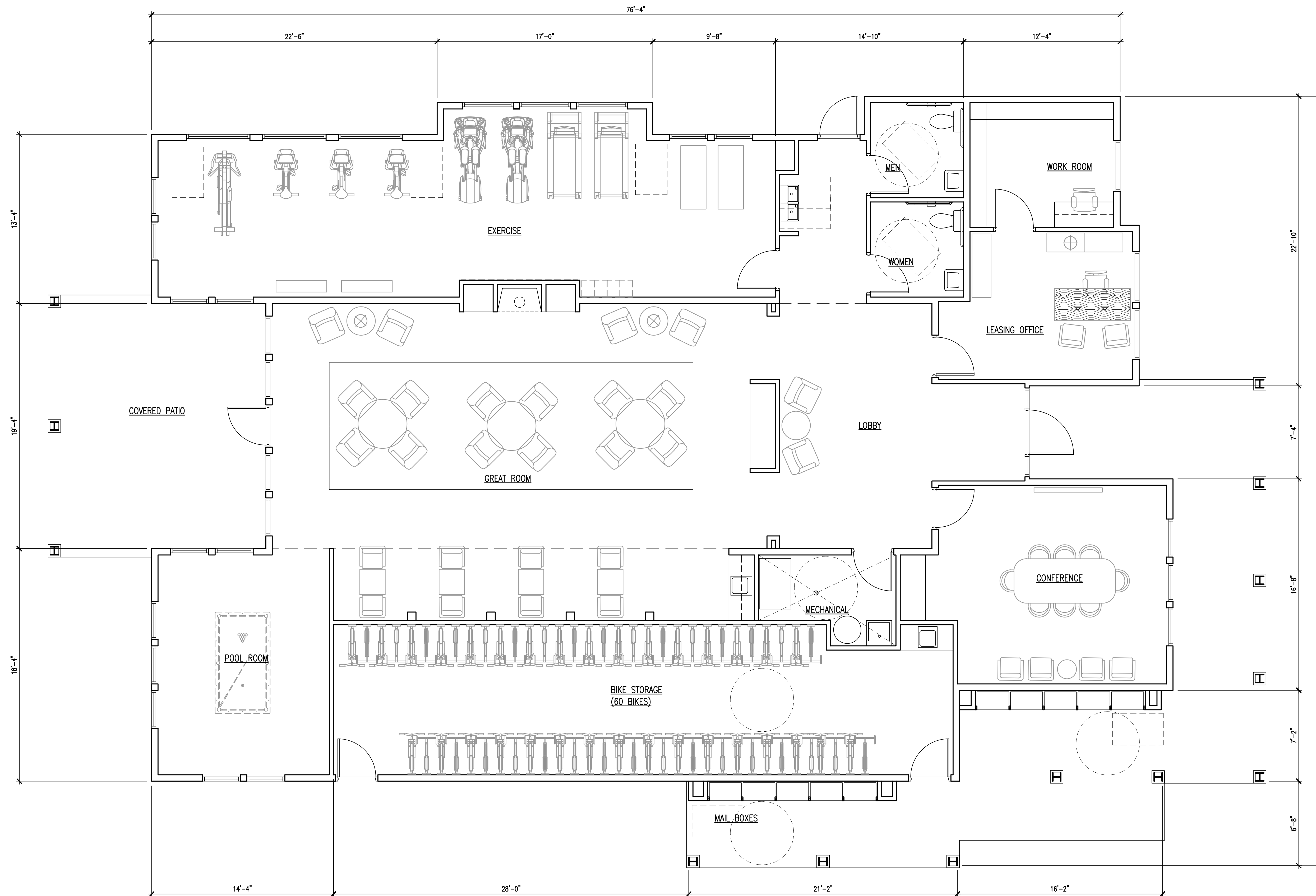
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APRIL 22, 2015  
FILE NO.  
14-226 A3.0  
DRAWN  
JOHN PRICE

### REVISIONS

### SHEET

# A3.1

ENLARGED UNIT PLANS



**1 CLUBHOUSE FLOOR PLAN**  
SCALE: 1/4" = 1'-0" 3,959 s.f.

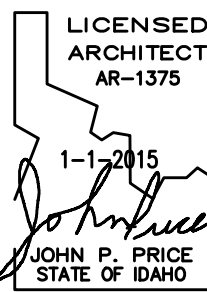


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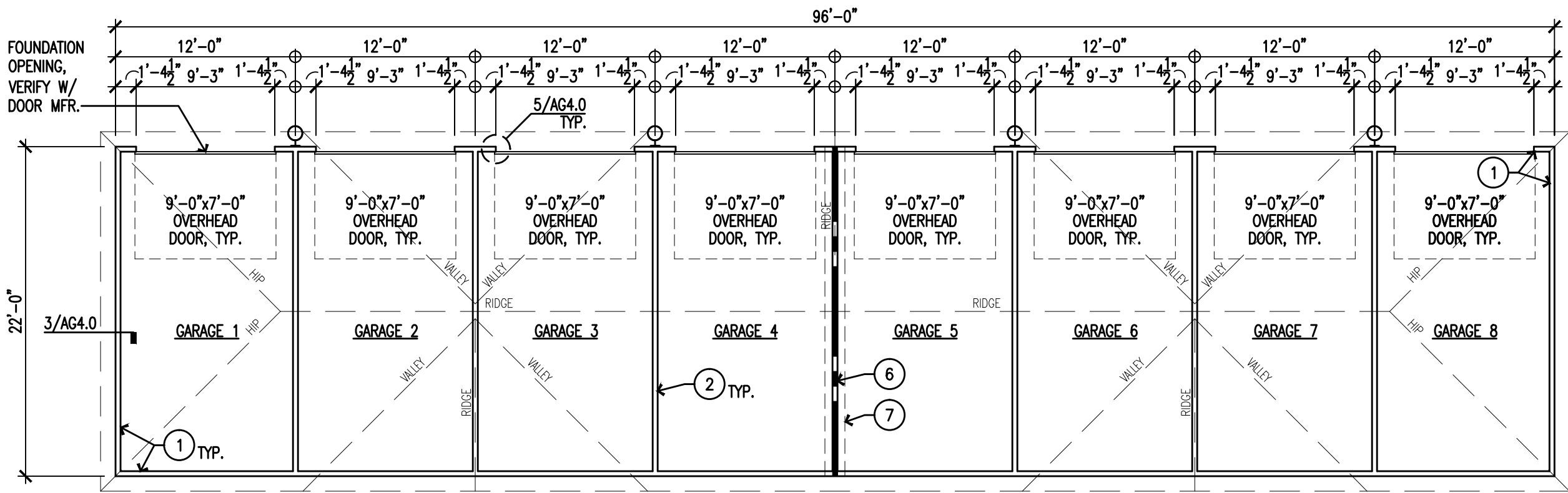
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REVISIONS

SHEET

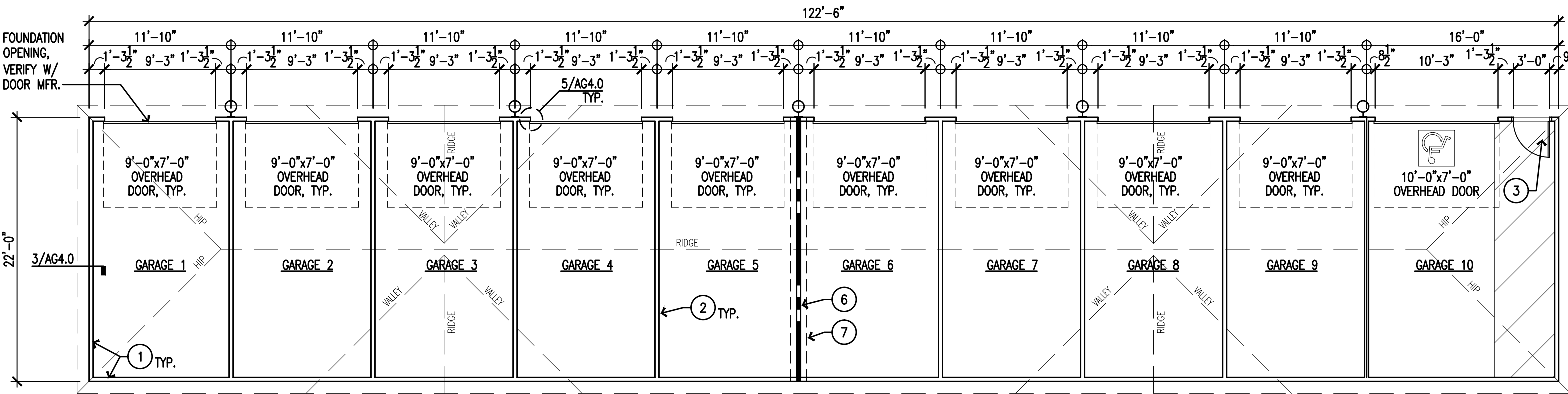




## 1 GARAGE FLOOR PLAN

8-BAY GARAGE

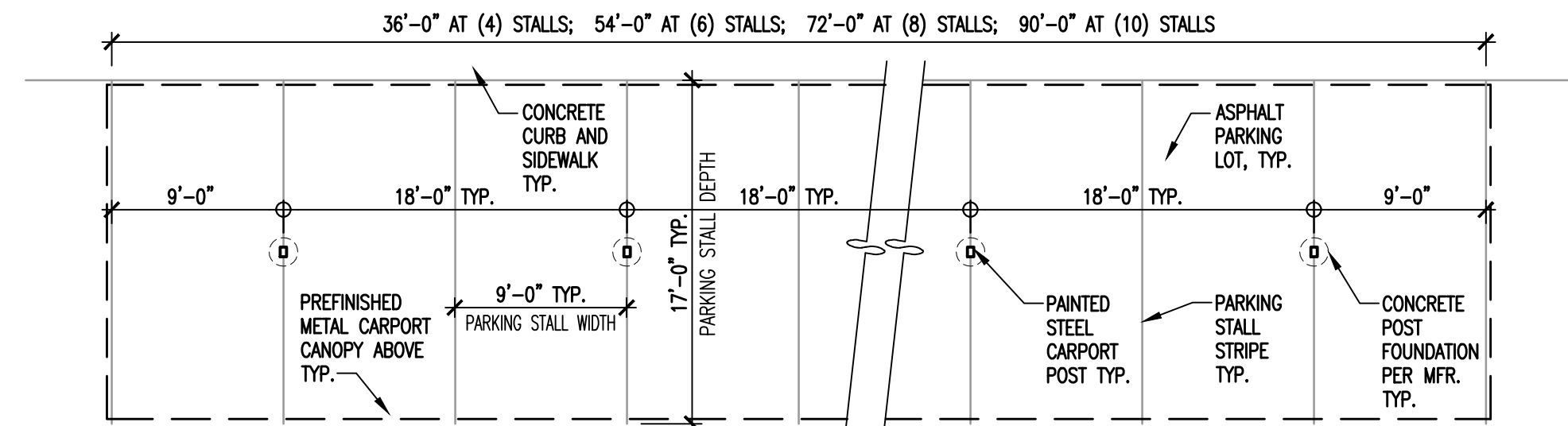
SCALE: 1/8" = 1'-0"



## 2 GARAGE FLOOR PLAN

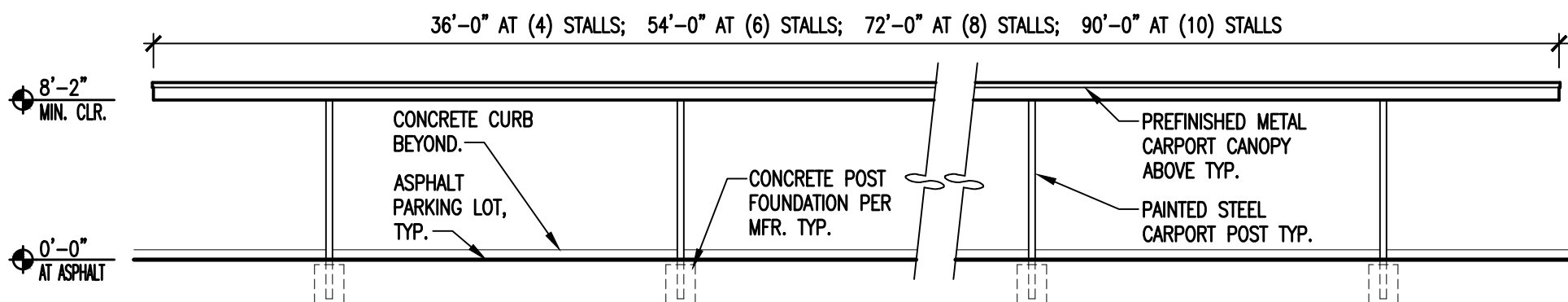
10-BAY GARAGE

SCALE: 1/8" = 1'-0"



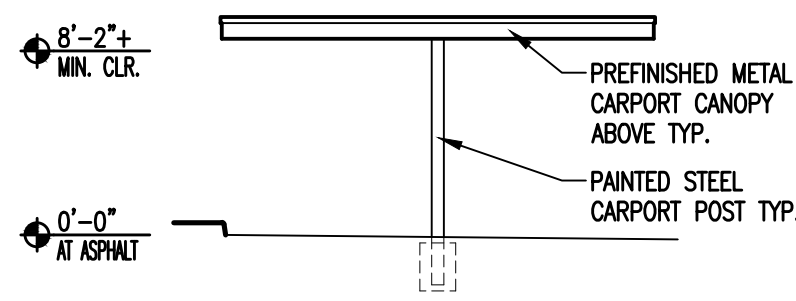
## 3 TYPICAL CARPORT PLAN

SCALE: 1/8" = 1'-0"



## 4 TYPICAL CARPORT FRONT ELEVATION

SCALE: 1/8" = 1'-0"



## 5 TYPICAL CARPORT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

### KEYNOTES

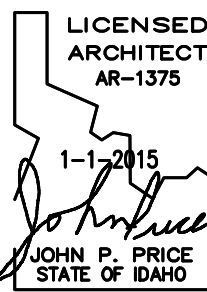
1. PAINTED HARDBOARD SIDING OVER BUILDING WRAP OVER 7/16" O.S.B. SHEATHING (6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING) OVER 2x4 WOOD STUDS AT 16" O.C.
2. TYPICAL INTERIOR GARAGE WALL: 2x4 STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD ON 1 SIDE FROM FLOOR SLAB TO BOTTOM OF ROOF SHEATHING.
3. GARAGE MAN DOOR TO BE 3'-0" W X 6'-8" RAISED PANEL INSULATED METAL DOOR WITH WOOD FRAME. PROVIDE LEVER HANDLED ENTRY LOCKSET, 1/2" HIGH MAX. ACCESSIBLE THRESHOLD, AND WEATHER SEAL.
4. GARAGE MAN DOOR AT GARAGE BUILDING B-1 ONLY. MAN DOOR TO BE 3'-0" W X 6'-8" RAISED PANEL INSULATED METAL DOOR WITH WOOD FRAME. PROVIDE LEVER HANDLED ENTRY LOCKSET, THRESHOLD, AND WEATHER SEAL.
5. NO WALL AT GARAGE B-1 ONLY. DOUBLE BAY WIDE AT THIS LOCATION ONLY.
6. INTERIOR SHEAR WALL SW6. LSTHD 8 HOLDDOWN @ EACH END OF SHEAR WALL. 7/16" OSB ONE SIDE OF WALL. 8d NAILS @ 6" O.C. W/ 5/8" THREADED ROD ADHESIVE ANCHOR BOLTS 5 1/2" IN 16" x 8" THICKENED SLAB.
7. THICKENED SLAB, 16"W x 8" D W/(2) #4 BARS.

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GARAGE  
FLOOR PLANS