



Planning & Development Services

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Summary for DRH16-00148

Staff Recommendation

Consent Approval with Conditions:

- a. A separate Accessory Dwelling Unit (ADU) application is required for the proposed dwelling unit.
- b. Code compliant parking must be provided for the proposed ADU.
- c. Siding shall be wood shingles to match the existing, unless during construction the original siding is uncovered. Changes must be first reviewed and approved by staff prior to proceeding.
- d. Windows shall be wood, metal clad wood or fiberglass, and be recessed from the exterior wall plane to provide a profile and sill depth matching the original windows on the home. The window frames shall not sit proud of the siding or trim.
- e. The overall roof height and pitch will not be changed as a result of the new roof.
- f. The height of the garage shall not exceed that of the home.

Summary

Certificate of Appropriateness to remove the roof and replace with bonus trusses and dormers to create a partial second story, remove the rear porch addition and replace with enclosed living space, add and remove windows on the side and rear elevations, construct a two-car garage with accessory dwelling unit above in a R-1CH (Single Family Residential with Historic overlay) zone.

Optional Motions

Move to approve DRH16-00148 based on staff's analysis and findings contained within the staff report.

OR

Move to approve DRH16-00148 with the following conditions of approval...

DRH16-00148
1" : 300'
N

W Brumback St

W Eastman St

W Alturas St

W Sherman St

W Resseguie St

W Pueblo St

W OFarrell St

C-1CHD

R-1CH

LONGFELLOW
ELEMENTARY
SCHOOL

15th Street
ROW (15th
& Fort)

NORTH JUNIOR
HIGH SCHOOL

Gordon S.
Bowen Park

R-3D R-3HD

A-1

R-3D/CD

W Hays St

R-3HD/CD

R-3D

W Fort St

W Hays St

W Hays St

W Fort St

W Hays St

W Hays St

A-1H

N 14th St

N 14th St

N 16th St

N 15th St

N 14th St

N 13th St

N 12th St

N 11th St

N 10th St

N 9th St

N 8th St

N 7th St

DRH16-00148
1" : 300'



W Brumback St

C-1CHD

W Eastman St

W Alturas St

R-1CH

W Sherman St

LONGFELLOW
ELEMENTARY
SCHOOL

W Ada St

W Ada St

W Resseguie St

NORTH JUNIOR
HIGH SCHOOL

15th Street
ROW (15th
& Fort)

A-1H

W Pueblo St

R-2HD

W OFarrell St

A-1HD

Gordon S.
Bowen Park

N 16th St

N 15th St

N 14th St

N 13th St

N 12th St

N 11th St

N 10th St

N 9th St

N 8th St

N 7th St

R-3D

R-3HD

A-1

R-3D/CD

W Hays St

R-3HD/CD

W Fort St

N 15th St

W Hays St

N 14th St

R-3D



1308



















AMY ALLGEYER COOK Architect, Inc.

LOT COVERAGE

Lot Size: 4600 sf

EXISTING:
Main Level: 1072 sf
Porch: 72 sf
Existing Lot Coverage: 1,144 sf = 24.9%

PROPOSED:

Main Level: 1072 sf
Porch: 72 sf
Garage: 441 sf
Existing Lot Coverage: 1,585 sf = 34.5%

ADJ. LOT COVERAGES:

1307 N. 12th: 34.8%
1310 N. 12th: 32.3%
1312 N. 12th: 34.5%

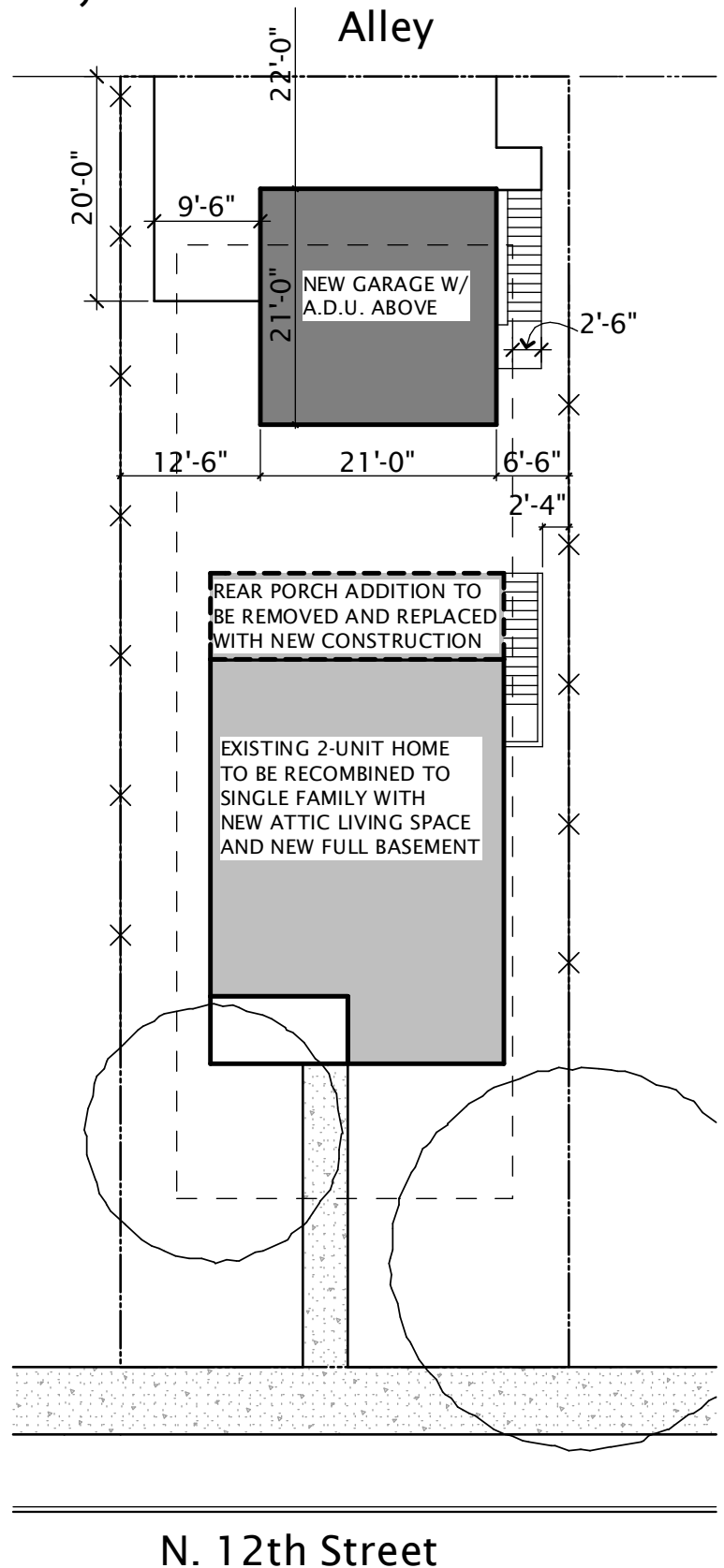
SQUARE FOOTAGE:

Lot Size: 4600 sf

EXISTING:
Main Level: 1072 sf

PROPOSED:

Main Level: 1072 sf
New Basement: 926 sf
Upper Level: 775 sf
ADU: 350 sf
Total Living Space: 3,123 sf
67.9% of size of lot

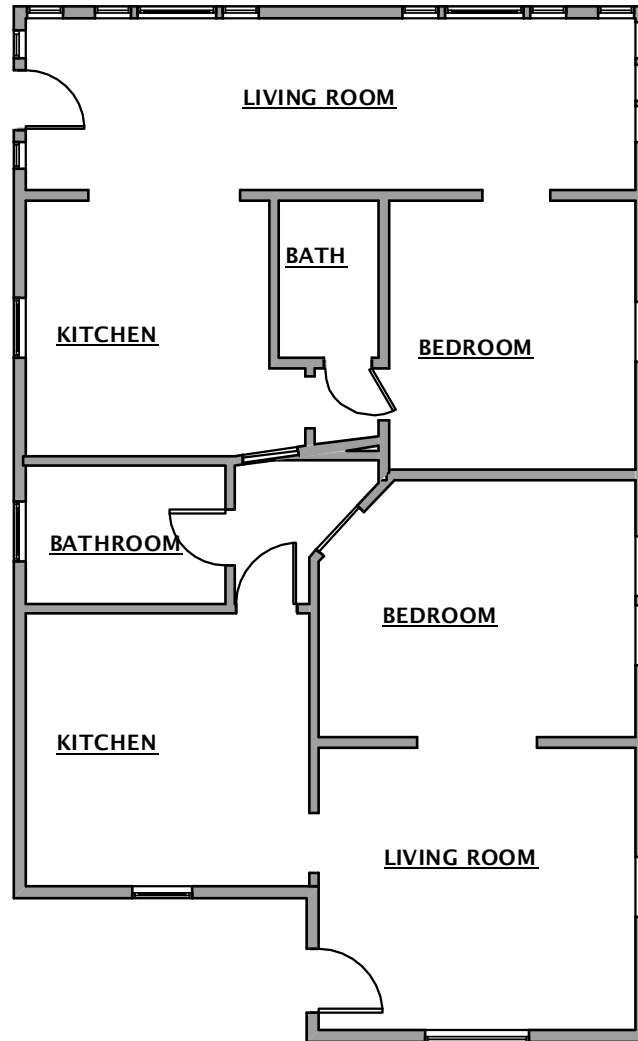


PROPOSED SITE PLAN

1/16" = 1'-0"

O'Neal Residence
1308 N. 12th Street

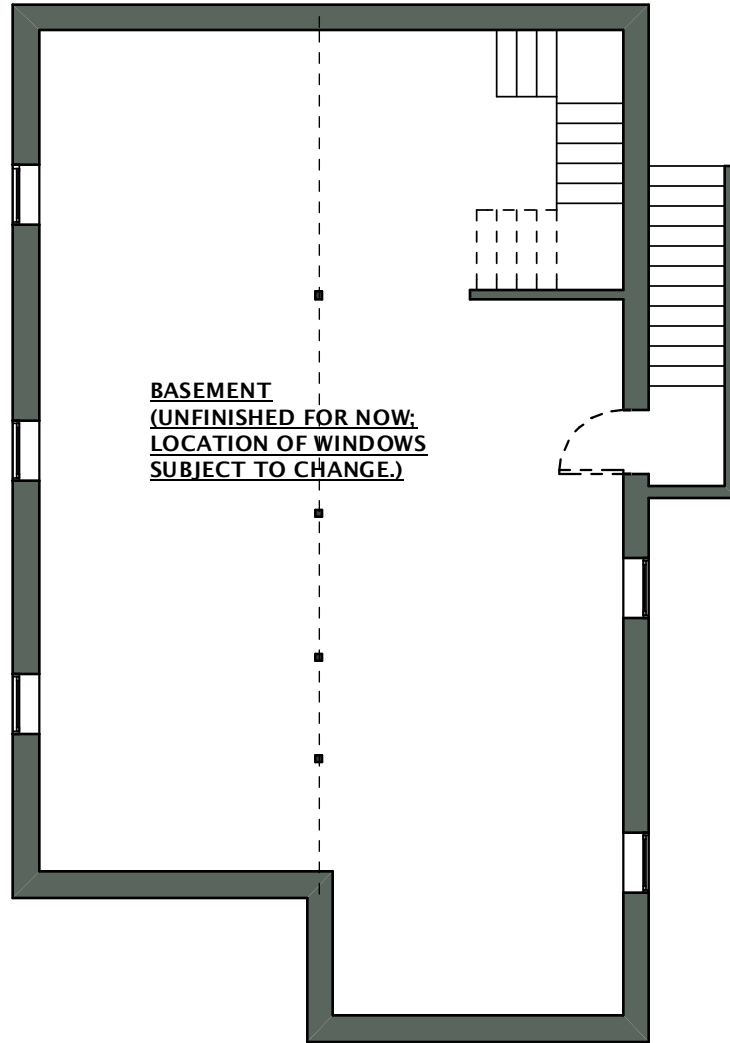
AMY ALGEYER COOK
Architect, Inc.



Exist. Floor Plan
 $\frac{1}{8}'' = 1'-0''$

O'Neal Residence
1308 N. 12th Street

AMY ALGEYER COOK
Architect, Inc.

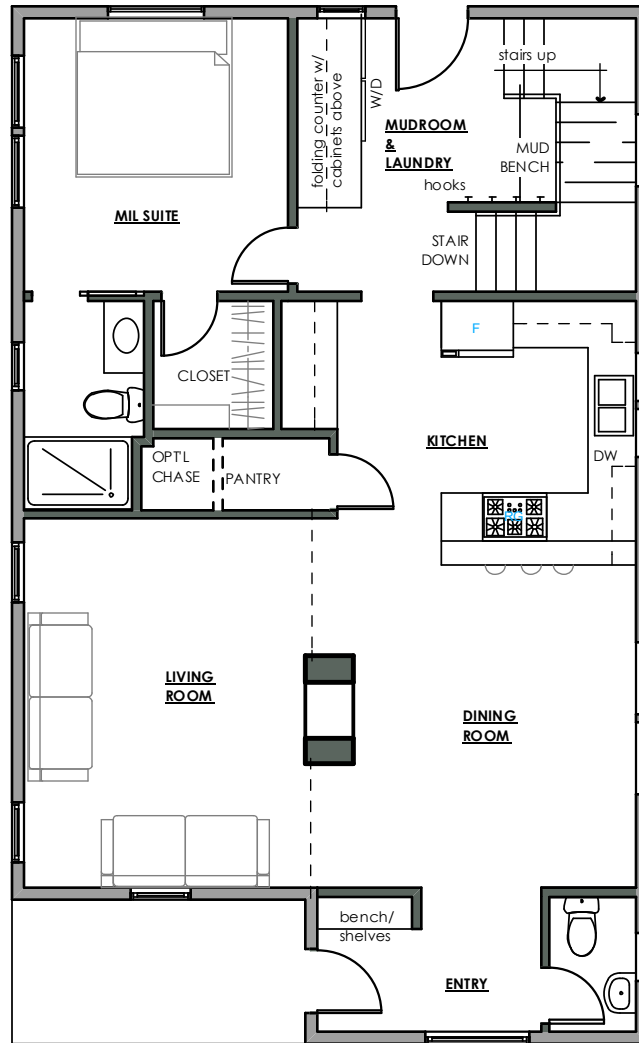


Proposed Basement Plan
 $\frac{1}{8"} = 1'-0"$

O'Neal Residence
1308 N. 12th Street

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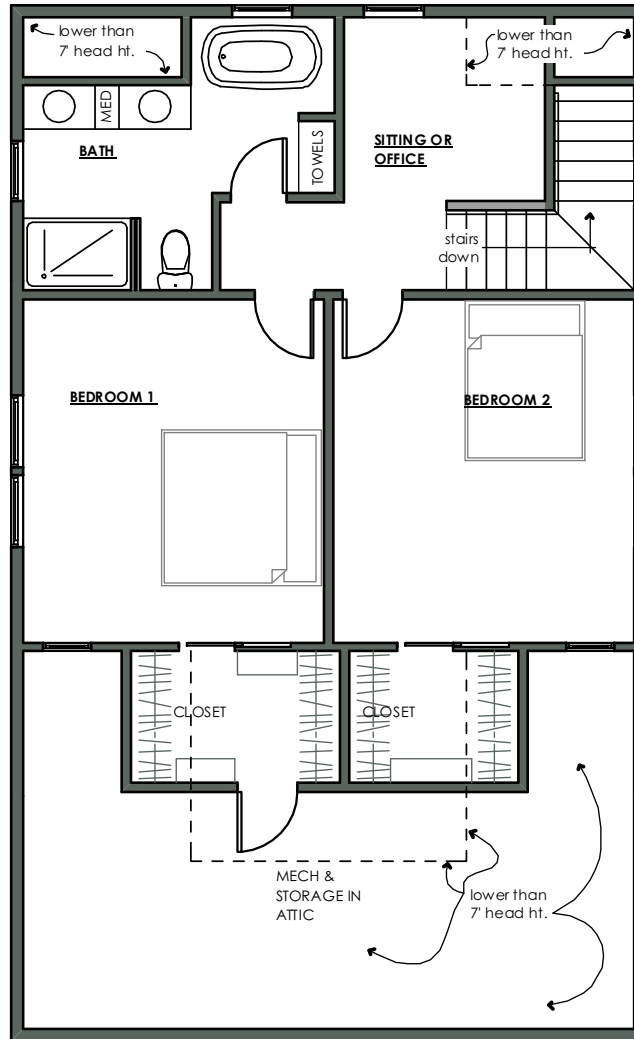


Proposed Main Floor Plan
 $1/8" = 1'-0"$

O'Neal Residence
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Proposed Upper Floor
1/8"=1'-0"

O'Neal Residence
1308 N. 12th Street

AMY ALGEYER COOK
Architect, Inc.



Front Elevation

1/8"=1'-0"



Right Elevation

1/8"=1'-0"

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Left Elevation

1/8"=1'-0"



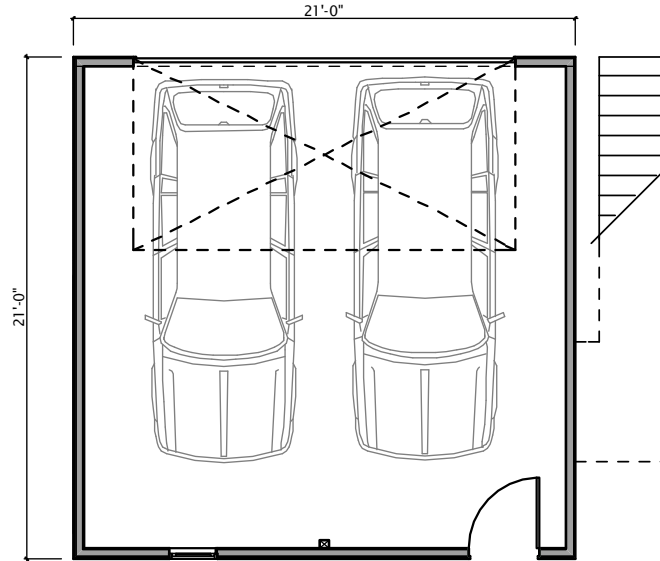
Rear Elevation

1/8"=1'-0"

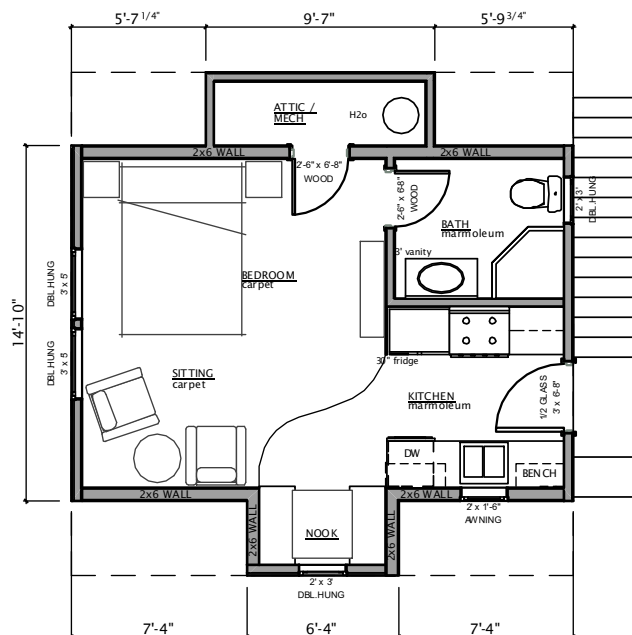
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AMY ALGEYER COOK Architect, Inc.



Garage Plan
1/8"=1'-0"



A.D.U. Plan
1/8"=1'-0"

O'Neal Residence **1308 N. 12th Street**

AMY ALGEYER COOK
Architect, Inc.



East Elevation



West Elevation

O'Neal Residence
1308 N. 12th Street

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AMY ALGEYER COOK
Architect, Inc.



South Elevation



North Elevation

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Planning Team Project Report

File Number	DRH16-00148
Applicant	Gavin O'Neal
Property Address	1308 N 12 th Street
Public Hearing Date	23 May 2016
Heard by	Historic Preservation Commission
Analyst	Matt Halitsky
Checked By	Sarah Schafer

Public Notification

Radius notices mailed to adjacent properties:	6 May 2016
Notice posted on site:	6 May 2016

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1. Project Data and Facts

Applicant/Status	Gavin O'Neal
Architect/Representative	Amy Cook
Location of Property	1308 N 12 th Street
Size of Property	4,600 square feet
Present Zoning and Land Use	R-1CH <i>Single Family Residential with Historic Overlay</i>
Historic District	North End
Date of Construction	1903-1912
Style	Vernacular / Folk Victorian
Status	Contributing
Square Footage of Existing House	1,072 square feet

Description of Applicant's Request
The applicant proposes to convert the existing duplex back to a single family dwelling, as well as a significant remodel to the contributing structure, to include lifting the home and providing a full basement, the removal of a rear porch and construction of a new addition on the same footprint, removal of the roof structure and replace with new bonus trusses with side dormers to create second floor living space resulting in the same roof pitch and height as currently exists. A new 1 ½ story detached garage with accessory dwelling unit above is also proposed.

2. Land Use

Description and Character of Surrounding Area
The surrounding neighborhood is a mixture of single and one and one-half story homes, with single-story garages accessed off of a rear alley.

Site Characteristics
The subject property is quite small, and currently consists of the historic single family dwelling with a parking pad at the rear of the lot along an alley. The property is landscaped with mature trees and shrubs, none of which will be removed under the current proposal.
Special Considerations
The property is considered a substandard original lot of record.
History of Previous Actions
DRH15-00445 Repair front porch with slightly different design. <i>Approved by HPC</i>

3. Project Proposal

Site Design

Land Use	Existing	Proposed
Percentage of the site devoted to building coverage:	25%	34%
Percentage of the site devoted to paving:	2%	4%
Percentage of the site devoted to landscaping:	73%	62%
TOTAL	100%	100%

Setbacks

Yard	Required	Proposed for Building	Proposed for Garage
Front (west)	15' (bldg.) 20' (garage)	No Change	>20'
Side (north)	5' (bldg.) 5' (garage)	No Change	12.5'
Side (south)	5' (bldg.) 5' (garage)	No Change	6.5'
Rear (east)	15' (bldg.) 0' (garage)	No Change	10'

Fencing

A six foot tall wood fence will enclose the rear yard.

Structure(s) Design

Number and Proposed Use of Buildings	One single family dwelling (existing) One detached garage w/ ADU (proposed)
Maximum Building Height	24' 11" (no change)
Number of Stories	1 ½

4. Ordinance / Standards

Section	
11-04-04.01	General Standards
2-18-09	Historic Preservation Ordinance
4.1	Guidelines for Residential Historic Districts
	Secretary of the Interior's Standards for the Treatment of Historic Structures

5. Analysis/Findings

Contributing Analysis

B.C.C Section 11-03-04.20(A)(1)(a)(iii) states: *As part of the application process for a Certificate of Appropriateness, the Planning Staff shall confirm the contributing or non-contributing classification of the property based on the criteria set forth in the definitions of Section 11-012-04.*

The subject property, constructed between 1903-1912, was considered contributing in a survey conducted in 1999. The massing of the house is the same, and the home retains the character defining features of the Folk Victorian style. The property remains contributing.

Substandard Lot Analysis

B.C.C. Section 11-06-03.03

1. *Substandard Original Lots of Record*

Any substandard original lots of record, as defined in this Code, may be utilized for a permitted use if all other requirements of this Code are met. Residential development of substandard original lots of record is subject to Section 11-07-02.1.A of this Code.

A. Purpose and Intent

To ensure that new development is compatible in character and scale with established housing.

B. Applicability

- (1) *Lots in the R-1A, R-1B, or A zones, having a lot area of less than 5,000 square feet or a width of less than 50 feet, or in the case of a corner lot, a lot area of less than 7,000 square feet or a width of less than 70 feet; and*
- (2) *All substandard lots of record in the R-1C, R-2, R-3, R-O, N-O, L-O, C-1, C-2, and C-3 districts.*

- (3) *The Historic Preservation Commission may modify the regulations for substandard lots in order to issues a certificate of appropriateness.*
- (4) *These standards apply to all new dwellings and remodels of existing dwellings.*
- (5) *They do not apply to lots that are part of a planned unit development and they do not take precedence over any note recorded on a subdivision plat.*

C. General Provisions

(1) *Minimum Lot Dimensions for Duplex*

- (a) *A minimum lot width of 36 feet for interior lots, 46 feet for corner lots, and a minimum lot size of 2,000 square feet per dwelling is required when alley access is available.*
- (b) *A minimum lot width of 37.5 feet is required when no alley access is available.*

(2) *Design Review*

A development containing three or fewer dwelling units on up to three contiguous substandard original lots of record shall be subject to minor design review. Four or more dwelling units and units with front loading garages shall require design review by the DRC as provided for in Section11-03-04.12.B(2) and shall also comply with the standards and guidelines in this Section.

(3) *Application Requirements*

Prior to application submittal all new applications or modifications to existing applications must hold a neighborhood meeting in conformance with Section11-03-04.12.B(2).

D. Development Standards

(1) *Setbacks*

(a) **Front**

The front yard setback for livable space and porches shall be within five feet of the average of the front yard setbacks of adjoining properties. However, in no case shall the setback be less than ten feet or more than 20 feet. The front minimum and maximum setback for parking is 20 feet. Maximum setbacks are required in order to provide a visual and physical relationship to the street and retain room for an open back yard area.

(b) **Side**

Interior side setbacks shall be as per the zone and street side yard setbacks shall be 15 feet for livable space and 20 feet for parking unless one of the following is applied:

i. ***Zero Lot Line Single Family Detached***

When the building is located on a common lot line, the remaining side yard setback shall be per the zone.

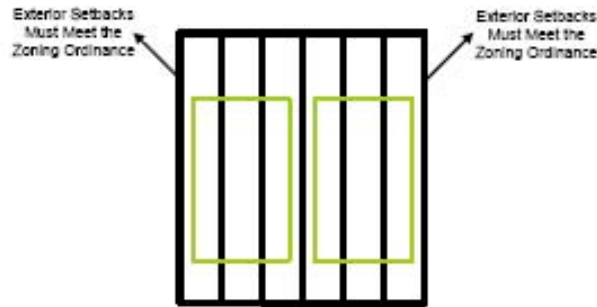


Figure 11-06.2: Common lot line attached units

ii. ***Detached Units on Contiguous Lots***

When two or more single family units are proposed on contiguous 25-foot lots, the interior side yard setbacks may be reduced to three feet interior to the development, provided the setbacks exterior to the development adhere to the setbacks required by the zone.

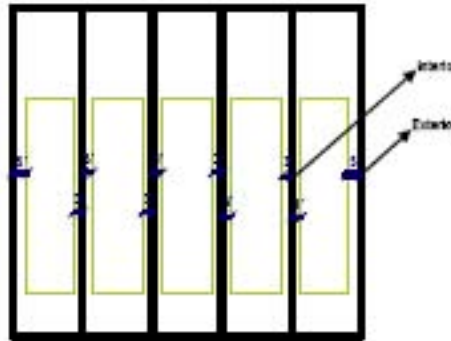


Figure 11-06.3: Detached units on continuous lots

iii. ***Two-story Attached Buildings in the R-1C Zone***

Two-story attached buildings In the R-1C zone shall be set back have a minimum setback of five feet for the first story and a minimum of eight feet for the second story from the interior side property line, with bay windows, pop-outs or other architectural appurtenances allowed at the five-foot setback line. All other zones must meet their side setback requirements. (See also Section 11-06-03.1.B, Duplex.)

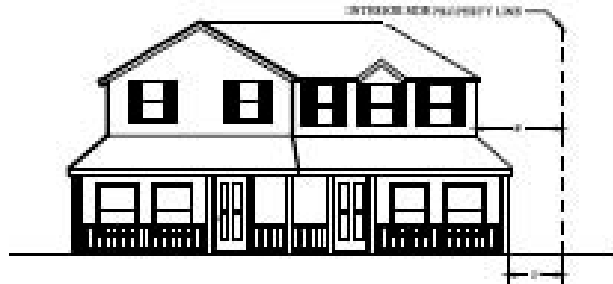


Figure 11-06.4: Two-story attached building

- iv. **Garage**
A single story detached garage, a maximum of 200 square feet, accessed off of an alley may have a three-foot interior side setback.
- (c) **Rear**
Rear yard setback shall be as required by the zoning district in which the substandard lot is situated.
- (2) **Building Height**
Building height shall not exceed the width of the lot or the maximum height allowed by the zone, whichever is most restrictive.
- (3) **Building Size**
Residential floor area shall not exceed 55 percent of the effective lot area on lots with less than 5,000 square feet.
- (4) **Private Open Space**
All lots must provide a minimum of 375 square feet of private open space in the rear yard. This open space must be configured as a minimum of 15 feet by 25 feet and can include the required setbacks. A minimum of 10 feet by 15 feet of that space shall be open to the sky. Covered rear porches are allowed to be calculated as part of the private open space area.
- (5) **Right-of-way Improvement**
 - (a) *All new dwellings (excluding remodels) shall provide a front sidewalk with curb and gutter, and, if applicable, a paved driveway apron that extends to the edge of street pavement of the roadway or alley will also be required; except that waivers or variations on some or all of this requirement may be granted by the Director based upon site-specific conditions such as the lack of adjacent improvements and/or documented drainage problems that might result from the improvement of the roadway.*

- (b) *Dirt or gravel strips in the front yard or undeveloped street right-of-way shall not be permitted. Irrigated landscaping shall be provided in these areas through license agreements with ACHD. Bonding for landscape improvements may be allowed based on weather related constraints. If ACHD denies the necessary license agreement, the requirement for landscaping shall be waived.*
- (c) *If full right-of-way improvement is not feasible and ACHD determines that there is insufficient roadway pavement width for travel lanes with on-street parking, a non-landscaped, ACHD approved shoulder shall be installed that is of the minimum width necessary to accommodate parallel parking. Landscaping shall be required to the edge of the parking shoulder.*
- (d) *All right-of-way improvements, license agreements, and/or bonding shall be completed prior to issuance of a Residential Certificate of Occupancy permit for the structure.*

(6) *Landscaping Standards*

A landscape plan shall be required for each new development. All areas not developed with structures, driveways, parking lots, private streets, pathways, patios, and similar useable areas shall be landscaped.

(a) **The landscaping should accomplish the following objectives:**

- i. *Shading of parking areas and walkways;*
- ii. *Ground cover consisting of predominantly live planted materials;*
- iii. *Provision of useable hardscape features (such as pavers, planters, stonework, decks, etc.) may be allowed up to 25 percent;*
- iv. *Erosion control; and*
- v. *Attractive streetscapes and common areas.*

(b) *Plastic or other artificial materials are not allowed.*

(c) *Xeriscape plans that are consistent with Public Works standards shall be considered acceptable.*

(d) *The landscape plan shall include an irrigation system.*

(7) *Parking*

(a) *Each dwelling shall be provided with off-street parking.*

(b) *Vehicular access and parking shall be provided according to the following standards:*

- i. *If alley access is available, all access shall be taken from the alley. Two spaces shall be provided with 22 feet of backup space as per Table 11-07.3, Minimum Standards for Parking Lot Design.*
- ii. *If alley access is not available a two car attached garage shall be provided. The design shall include varied rooflines, dormers within the roofline or other architectural treatments that will avoid the appearance of garage domination. There shall be a setback of 20 feet to the face of the garage. Driveways for a two car attached garage may not exceed 20 feet in width.*
- iii. *The use of ten-foot wide shared driveway providing access to rear yard garages attached with a common wall on the property line is allowed and encouraged for contiguous lots of 35 feet in width or greater.*

(8) *Alternative Building Arrangements*

(a) **Attached Units**

Attaching single family units in multiples of two or three on a common lot line is encouraged as a means of creating more substantial structures that will be imitative of standard width single-family homes. Such units remain subject to the general design criteria stated herein and do not require a planned unit development application.

(b) **Zero Lot Line Option**

If multiple single-family detached units are to be constructed on contiguous lots, the applicant may request zero lot line development provided that the full required setback from adjacent non-project lots can be adhered to. Such units remain subject to the general design criteria stated in subsection 5, below, and do not require a planned unit development application and may be approved by design review per Section 11-06-03.1.B, Design Review.

(c) **Additional Requirements for Attached Units**

- i. *Attached buildings shall be constructed to comply with townhouse construction standards per the Building Code.*
- ii. *The applicant or builder shall obtain the Legal Department's approval of easement agreement(s) for the use and maintenance of common facilities such as driveways, parking sites, and common party walls. The Legal Department must approve easement agreements*

within ten calendar days of submission. Any revised easement agreement shall be considered a new submission. Said agreement shall be recorded in the official records of Ada County prior to submission of plans for a building permit.

- iii. *Adjustments to lot lines and reduction in the number of lots within the same parcel are subject to review and approval pursuant to all applicable city subdivision and zoning regulations. The applicant shall obtain approval from the city and record any lot line adjustments or reduction in lots with the County Recorder prior to submission for a building permit.*

E. Design Guidelines

In addition to the development standards above, the general design guidelines below shall also apply to developments on substandard lots of record. Design review shall take into account the location and design of adjacent buildings, landscaping and right-of-way improvements, and shall apply the following criteria as appropriate:

(1) *Number of Stories*

- (a) *Full-length two story buildings on long narrow lots are allowed only when both adjacent properties are developed with full two-story structures. Partial two-story buildings may be allowed when they do not adversely impact the adjoining properties. The circumstances to be considered shall include the size and height of the adjacent dwelling units, excessive shading of adjacent units, privacy impacts on adjacent yards, and the mass, height, window placement, and design of the building. Upper story limitations or setbacks on the new building may be an acceptable means of ensuring compatibility with adjacent structures of smaller size.*



Figure 11-06.5: Full-length two-story building

(b) **Exception**

Any building constructed as one and one-half stories, with a pitched roof, and with a maximum building height of 18 feet to the midline of the roof shall be exempt from further review under (a).



Figure 11-06.6: One and one-half story building



Figure 11-06.7: Partial two-story structure

(2) *Orientation*

All buildings shall be oriented towards a public street, except when buildings cannot be oriented to the street due to inadequate street frontage. In this case, buildings should be oriented towards a private street or lane conforming to city standards.

(3) *Front Facade Design Requirements*

(a) *Homes should have a front door that faces the street. When a unit is built on a corner lot, the main entrance shall have the door facing the dominant street.*

(b) *A prominent front porch at least six feet in depth and with at least 25 percent of the front face facade comprised of windows may be*

considered in lieu of a street-facing front door. For homes with front-loaded garages, a garage door shall not count toward window/opening requirements. The garage door shall also have design elements such as: panels, windows, trim features, cross members, or other features as determined by design review.

- (c) *Non-attached dwelling units should provide a facade design that differs from the facade design on adjacent units; however, articulated designs may repeat on non-contiguous lots. Required facade elements shall, in addition to complying with design guideline in (1), (2) and (3), above, include a minimum of two of the following: multi-paned windows, varied roof lines, bay windows, wainscot, covered front door, or other elements as approved by design review that create a unique facade.*
- (d) *Attached units should provide modulation and architectural design features to prevent flat facade wall planes.*
- (e) *Building design should incorporate materials such as brick, stone, stucco, tile, and wood for 35 percent of the facade and second story elements. The presence of such materials on nearby homes should be reviewed as a guide for appropriate materials to be used on the new dwelling.*
- (f) *Rain gutters shall be provided on the side elevations of all structure to aid in site drainage. Gutters shall direct water to the front or rear of the lot.*

(4) *Driveways*

Where front yard driveways are permitted for access to a single garage, the driveway may be designed with two concrete wheel strips or grass pavers separated by vegetation.

The applicant's proposal is consistent with the standards for development of substandard original lots of record. All setbacks and open space requirements are met. Residential floor area does not exceed 55 percent of the effective lot area. Access will be provided from the rear alley. Curb, gutter and sidewalk currently abut the site. No additional right-of-way improvements will be required at this time.

**Design Guidelines for Residential Historic Districts,
Secretary of the Interior's Standards for the Treatment of Historic Structures**

The applicant proposes to convert the existing duplex back to a single family dwelling. In addition, a significant remodel is planned, to include lifting the home and providing a full basement, the removal of a rear porch and construction of a new addition on the same footprint. The roof structure will be completely removed and replaced with new bonus

trusses with side dormers to create second floor living space. The roof pitch and height will match the existing roof form. The rear hip will be converted to a gable to provide additional light, however this change will not be visible from the street. A new 1 ½ story detached garage with accessory dwelling unit above is also proposed. All setbacks have been met and minimum required back-up space provided.

Though a substantial remodel, the applicant's proposal is well designed and consistent with respect to the Design Guidelines for Residential Historic Districts. The scale and massing of the home will not change and is appropriate for the neighborhood (4.1.1). Quality materials such as wood shingle siding and either wood, metal clad wood or fiberglass windows are proposed and appropriate for use within the historic districts (4.1.5). Lot coverage for the proposal is calculated at 34 percent, exceeding the 30 percent recommended by the guidelines (4.1.9). However, the footprint of the home will not change, and the additional lot coverage is the result of a modest two-car garage. In addition, as indicated on the attached map, there is precedent for higher lot coverages on the block. No additional conditions relative to lot coverage are recommended at this time. The new garage is subordinate to the historic home (6.1.3) and uses appropriate materials for the district (6.1.5).

Staff recommends approval of the application as conditioned below.

6. Conclusion and Recommended Conditions

Pursuant to §11-03-04.20 of Boise Municipal Code, the proposed development is congruous with the historical, architectural, archeological, educational or cultural aspects of the historic district because:

The Secretary of the Interior's Standards for the Treatment of Historic Properties (1995 Edition), the Boise City Design Guidelines for Residential Districts, the North End Plan and the Boise City Comprehensive Plan are references often utilized by the Historic Preservation Commission to determine whether a change is congruous with the historic and architectural qualities of the historic district.

1. *BCC Section 11-03-04.20.B(7)(b)(ii)(A)* states that the request shall be consistent with the Design Guidelines for Boise City's Historic Districts. This application is not within one of the Commercial Districts therefore this finding does not apply to this application.
2. *BCC Section 11-03-04.20.B(7)(b)(ii)(B)* states the request shall be consistent with the Boise City Design Guidelines for Residential Historic Districts. As conditioned, the application complies with the requirements of this Finding.
3. *BCC Section 11-03-04.20.B(7)(b)(ii)(C)* states the request shall be consistent with The Secretary of the Interior's Standards for Rehabilitation, or other standards as applicable (preservation, restoration or reconstruction). As conditioned, this application is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

4. *BCC Section 11-03-04.20.B(7)(b)(ii)(D)* states the request shall support the goals, objectives and policies of the Boise City Comprehensive Plan and the plans referenced therein. The application is in compliance with the goals, objectives and policies of the Boise City Comprehensive Plan. The proposal promotes redevelopment while preserving neighborhood character.
5. *BCC Section 11-03-04.20.B(7)(b)(ii)(E)* states that based on the adopted design guidelines the request will not be incongruous with the historical, architectural, archaeological, educational or cultural aspects of the district. As conditioned, this application is congruous with the historical, architectural, archaeological, education and cultural aspects of the district based on the adopted guidelines above.
6. *BCC Section 11-03-04.20.B(7)(b)(ii)(F)* states that the request must comply with the dimensional standards and other applicable requirements of Title XI (Zoning Ordinance) including, but not limited to setbacks, height restricts and parking requirements unless the Commission finds that modifying the standards is necessary to protect the overall characteristics of the district and to comply with the adopted design guidelines. This application complies with the dimensional requirements of the underlying zone as laid out in Title XI, without the need for a waiver or variance.
7. The proposed development is consistent with §11-06-03.03, *Standards for Development of Substandard Original Lots of Record*.

Site Specific Conditions of Approval

1. Compliance with plans and specifications submitted to and on file in the Planning and Development Services Department dated received 26 April 2016 and updated 1 May 2016, except as expressly modified by the following conditions:
 - a. A separate Accessory Dwelling Unit (ADU) application is required for the proposed dwelling unit.
 - b. Code compliant parking must be provided for the proposed ADU.
 - c. Siding shall be wood shingles to match the existing, unless during construction the original siding is uncovered. Changes must be first reviewed and approved by staff prior to proceeding.
 - d. Windows shall be wood, metal clad wood or fiberglass, and be recessed from the exterior wall plane to provide a profile and sill depth matching the original windows on the home. The window frames shall not sit proud of the siding or trim.

- e. The overall roof height and pitch will not be changed as a result of the new roof.
- f. The height of the garage shall not exceed that of the home.

Standard Conditions of Approval

- 2. The applicant shall comply with the Boise City Fire Code.
- 3. Prior to a Building Permit and prior to any construction on the site, an Erosion and Sediment Control Permit must be obtained from the Building Division of the Planning and Development Services Department.
- 4. No change in the planned use of the property by the applicant shall be valid unless in writing and signed by the applicant or his authorized representative and an authorized representative of the City of Boise. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon the City of Boise.
- 5. Any change in the planned use of the property by the applicant shall require the applicant to comply with all rules, regulations, ordinances, plans or other regulatory and legal restrictions in force at the time the applicant or successors in interest advise the City of intent to change the planned use of the property described herein unless a variance in said requirements or other legal relief is granted pursuant to the law in effect at the time the change in use is sought.
- 6. If the applicant does not act on the Certificate of Appropriateness through the commencement of construction, or extended pursuant to the Boise City Code, within 24 months, it will become null and void without further notification from this department.
- 7. The applicant shall be required to obtain a Building Permit prior to the start of construction.

Construction Site Requirements

- 8. The practices required below are intended to mitigate the impact and disturbance of residential property owners during the construction of adjacent buildings or structures. The following conditions apply to all construction-related activities ranging from grading and demolition activities to final occupancy on any land or parcel falling under the proprietary ownership of the permit applicant.
 - a) Prior to the issuance of a building permit and prior to the commencement of any construction on-site, an Erosion and Sediment Control (ESC) permit must be obtained from the Planning and Development Services Department. No grading, demolition or earth disturbing activities may start until an approved ESC permit and the associated site work or grading permits have been issued.

- b) Measures shall be taken to manage construction debris and trash on the construction site and efforts shall also be made to provide reasonable controls to minimize fugitive dust on the construction site. Such measures shall include, but are not limited to:
 - Provide suitable containers for solid waste generated by construction activity;
 - Wet demolition of existing buildings;
 - Watering of driving surfaces and earth moving activities;
 - Installation of wind screening around property and each open floor above grade; and
 - Daily broom cleaning of above grade floors, adjacent streets and sidewalks.
- c) To reduce the noise impact of construction on nearby residential properties, all exterior construction activities shall be limited to the hours between 7:00 a.m. and 7:00 p.m. Monday through Friday and 8:00 a.m. to 6:00 p.m. for Saturday and Sunday. Low noise impact activities such as surveying, layout and weather protection may be performed at any time. After each floor of the structure or building is enclosed with exterior walls and windows, interior construction of the enclosed floors can be performed at any time.
- d) A minimum height of six foot (6') rigid security fencing, either wood or metal, shall be installed around the construction site within 30 days of the date when the first city permit is issued on projects where construction activity shall exceed 90 days.
- e) Exterior lighting and other illuminating equipment or materials shall be positioned, shielded, directed and located to not reflect or impact adjacent residential property and streets.
- f) Applicant shall comply with Boise City Fire Department requirements for water, access, and/or other requirements as determined by the Fire Marshal.
- g) Any conditions to be enforced during construction shall remain posted at each street abutting the construction site for the duration of the project. In addition to the posted conditions the permit holder shall also post an 11"x 17" laminated sign containing a project contact phone number, name of project contact and the Boise City contact number, 384-3845, to address issues as they arise. Failure to abide by any conditions set forth shall be grounds for revocation of Conditional Use Permit and/or Building Permits and may be subject the owner or owner's agents to fines and criminal citations.



Planning & Development Services

Boise City Hall, 2nd Floor
150 N. Capitol Boulevard
P. O. Box 500
Boise, Idaho 83701-0500

Phone: 208/384-3830
Fax: 208/384-3753
TDD/TTY: 800/377-3529
Website: www.cityofboise.org/pds

Affidavit of Legal Interest

State of Idaho)

) ss

County of Ada)

I, Gavin O'Neal
Name

1308 N 12th
Address

Boise
City

ID 83702
State

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

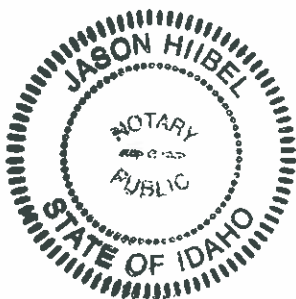
A. That I am the record owner of the property described on the attached, and I grant my permission to Amy Cook 720 W. ADA, Boise, ID 83702
Name Address
to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold Boise City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

Dated this 25 day of April, 20 16

[Signature]
Signature

Subscribed and sworn to before me the day and year first above written.



[Signature]
Notary Public for Idaho

Residing at: Boise, ID Ada County

My commission expires: 02/28/22

IDAHO HISTORIC SITES INVENTORY
IDAHO STATE HISTORIC PRESERVATION OFFICE

This form provides the minimum level of documentation required to determine a property's eligibility for the National Register of Historic Places. Complete all starred (*) items as well as the National Register Recommendation.

PROPERTY DATA 1308 N. 12th

*Property Name _____ Field No. 458
 *Map Reference U.S.G.S. 7.5 Boise North
 *Township 3N *Range 2E *Section 3
 * SW 1/4 of * NE 1/4, Boise Meridian
 UTM Zone _____ easting _____ northing
 *County Ada *Acres <1
 *Address 1308 N. 12th *City Boise
 Lot(s) _____ Block(s) _____ Subdiv/Add. _____
 Historic context(s) Architecture, Settlement
 *Property Type Building *Total # features 1
 *Assoc. Features (bldgs. etc) _____
 *Construction Date _____ *Estimated Construction Date 1903-1912
 Style Vernacular w/Queen Anne Plan _____
 *Condition Fair *Moved: Yes ___ When _____
 *Materials STONE CONCRETE WOOD OTHER
 *Original Use Domestic *Current Use Domestic

NATIONAL REGISTER RECOMMENDATION: (check all that apply)

<input type="checkbox"/> Individually eligible	<input type="checkbox"/> Not eligible	Roll/Frame <u>19/23</u>
<input checked="" type="checkbox"/> Contributing in a potential district	<input type="checkbox"/> Noncontributing	Photo # _____
<input checked="" type="checkbox"/> Multiple property study	<input type="checkbox"/> Historical significance	
<input type="checkbox"/> Significant person	<input type="checkbox"/> Historic landscape	
<input type="checkbox"/> Architectural/artistic values	<input type="checkbox"/> Not evaluated	

Comment _____
 *Recorded by The Arrowrock Group *Phone 208-338-1014
 *Address P.O. Box 7333, Boise Idaho 83707
 *Project/Report Title Reconnaissance Survey of Boise's North End Streets 4, 5, 6, 11, 12, 13
 Survey Report # _____ Reconnaissance Intensive _____ *Date February 1999

FIELD NOTES / SKETCHES

Decorative fish scale trim in gable - siding probably replacement - rear addition
 Sanborn Fire Insurance Maps: *1912 Sheet 17*
 City Directories:
 Building Permits:
 Newspapers:

IHSI #	_____
REV #	_____
SITS #	_____

1258

458



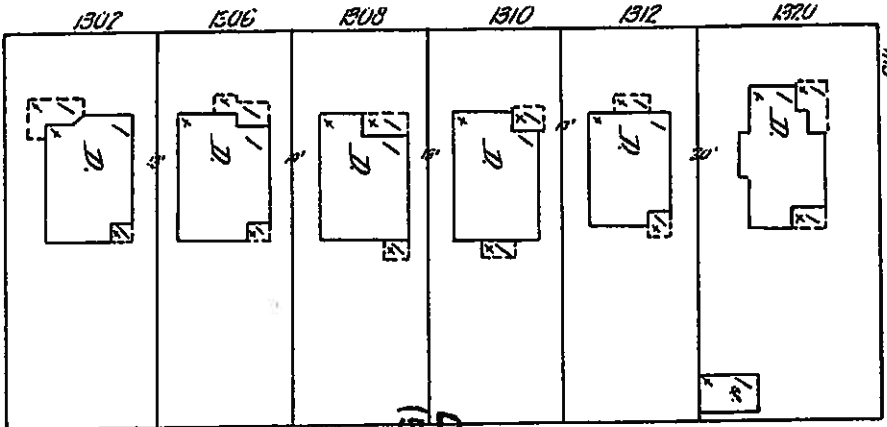
N. 12TH ST

ST

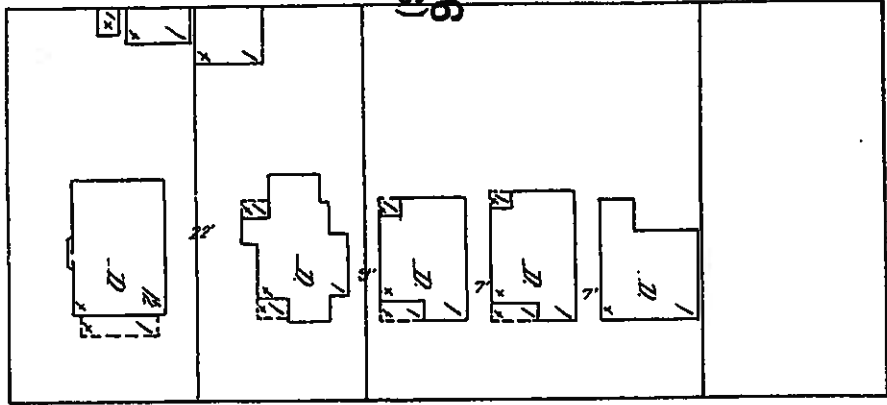


60'

1118



426 (S16)

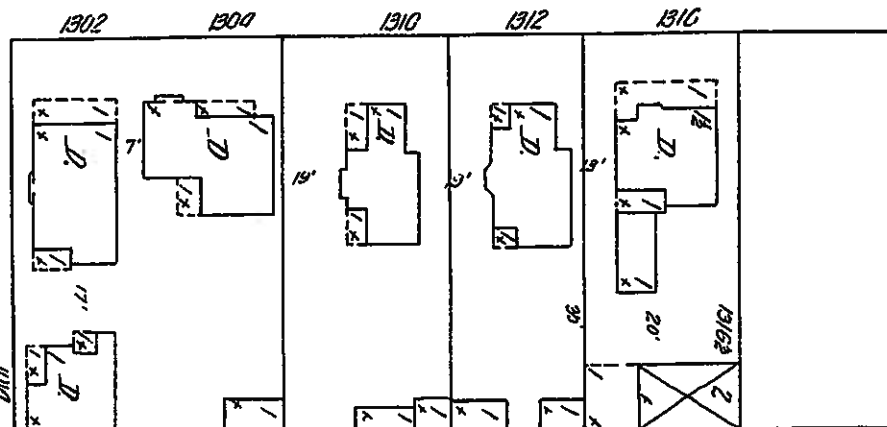


N. 11TH ST

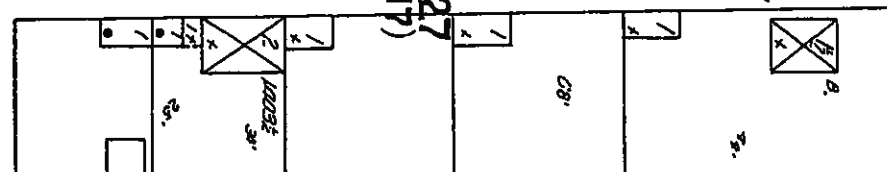
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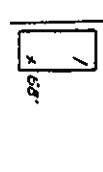
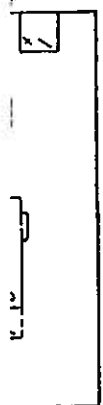
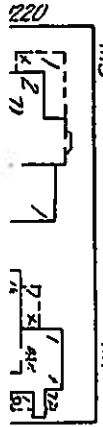
1012



427 (S17)



SHERMAN



60'

Scale of Feet.

50 40 30 20 10 0

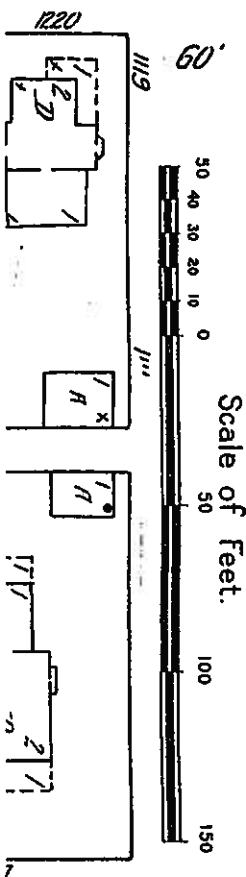
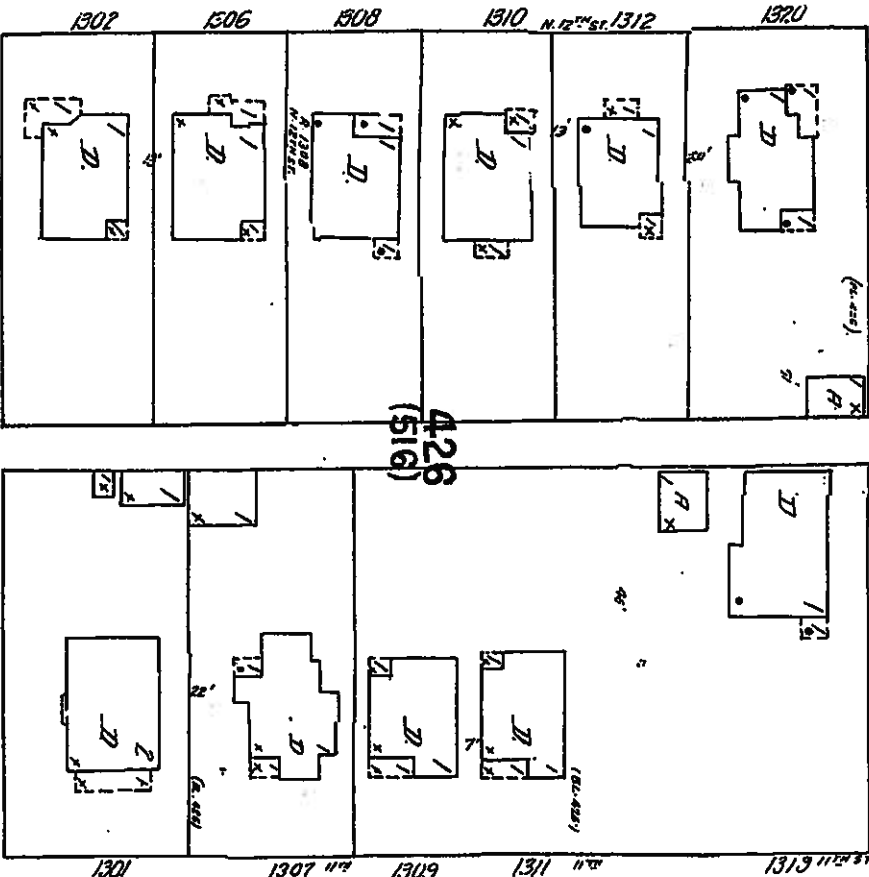
50 100 150

ADA

16

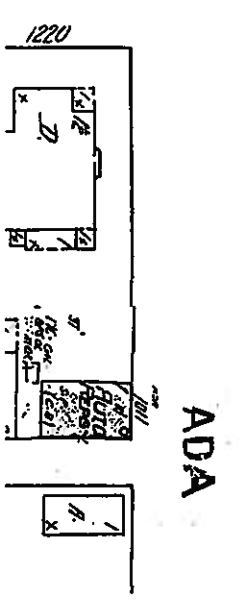
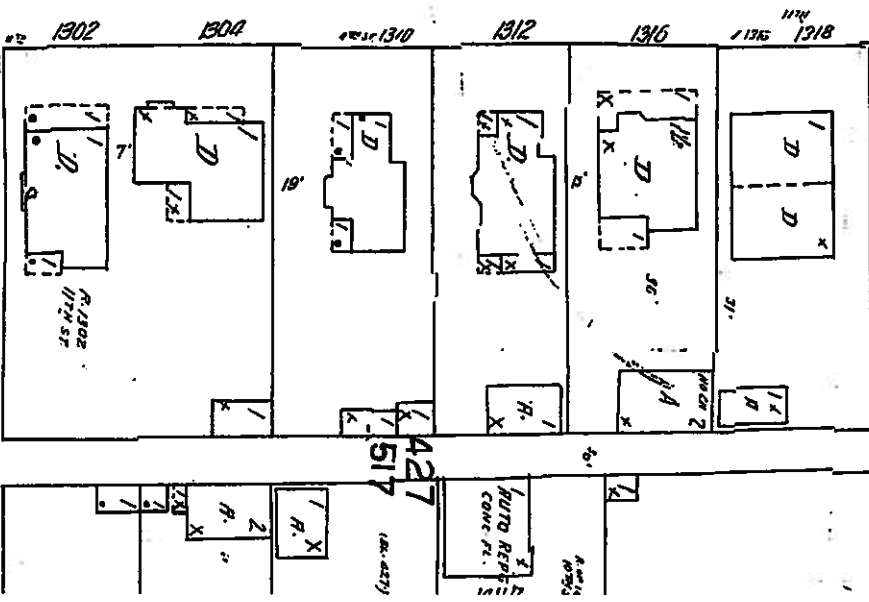
N. 12TH

S 7TH



N. 11TH

S 8TH

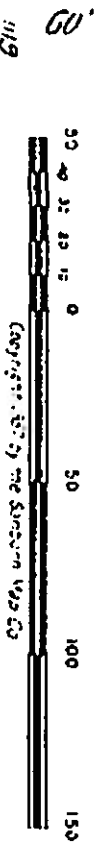
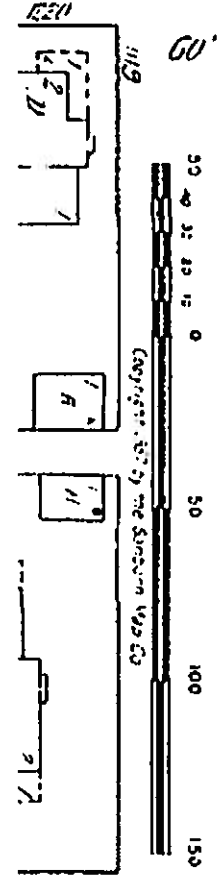
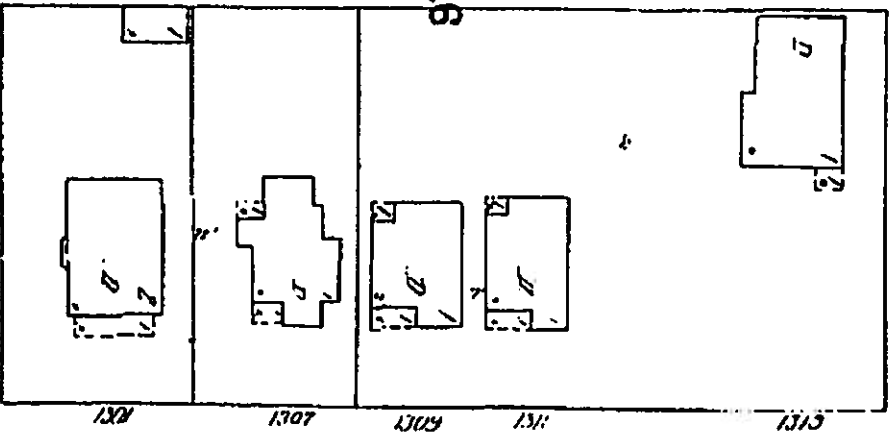
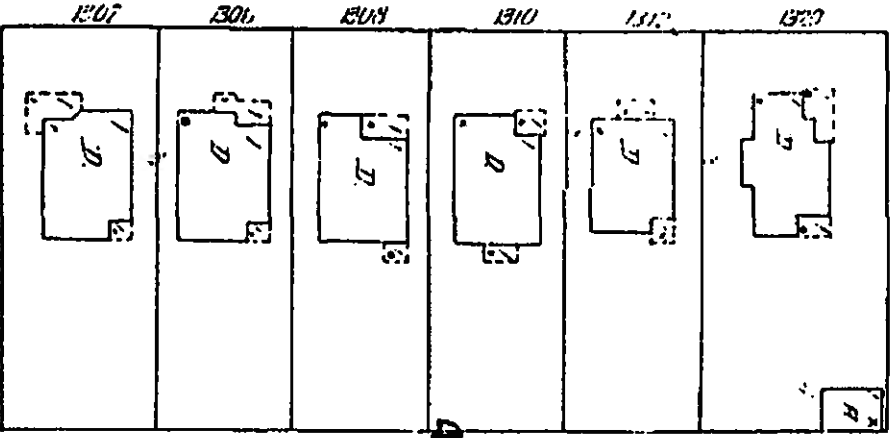


SHERMAN

ADA

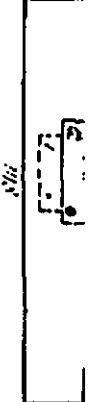
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N. 12TH

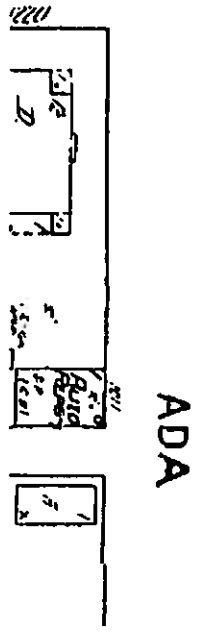
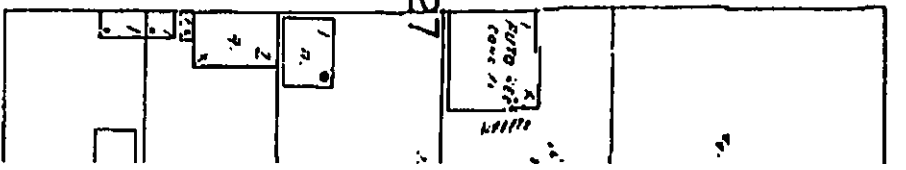
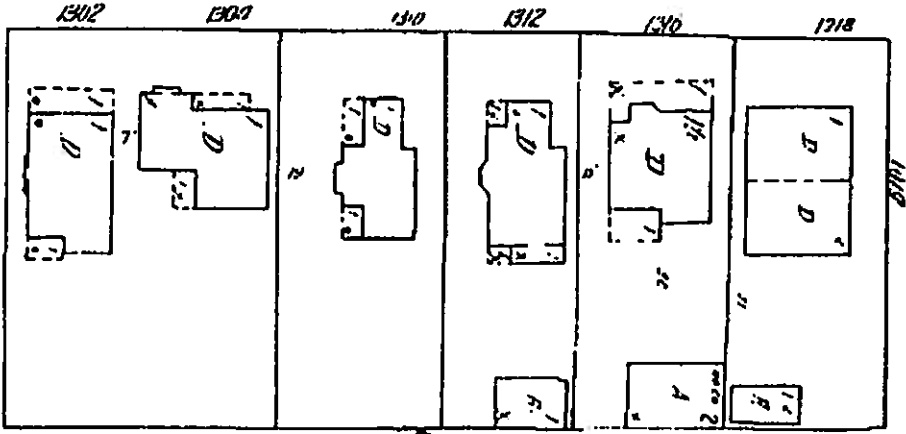


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14

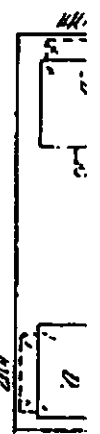


N. 11TH



ADA

15



SHERMAN

139

INSPECTION RECORD 12802 DATE 7-1-55
OWNER Mrs. Eva Reed LOCATION 1308 N. 12
CONTRACTOR F. Yost VALUE \$400.00
TYPE OF BLDG. HEIGHT
AREA Sq. Ft. NEW REMODEL X
OCCUPANCY garage
REMARKS: Remodel and reroof garage

Com
10-12-55
M

INSPECTIONS 7-2-55^T ~~7-5-55~~ ^{7-5-55^T} ~~7-5-55~~

EXCAVATION & FOOTINGS

FOUNDATION

FRAMING 7-12-55^T - 7-18-55^T - 7-22-55^T

~~FINAL~~ 8-10-55^M

PLUMBING CONTRACTOR

ROUGH IN

FINAL

ELECTRICAL CONTRACTOR

ROUGH IN

FINAL

INSPECTION RECORD..... DATE 9-27-47

OWNER *Maud E. Crawens*..... LOCATION *1308 1/2 No. 13*

CONTRACTOR *R. L. King*..... VALUE *2500⁰⁰*

TYPE OF BLDG. *Masonry frame* HEIGHT *2 story*

AREA SQ. FT. *428*..... NEW REMODEL

OCCUPANCY *Drug*

REMARKS: *To be located on rear of lot.*

Completed 10-26-47

INSPECTIONS

EXCAVATION & FOOTINGS 10-27-47 (R)

FOUNDATION 3-18-48 = MC 11-20-48 = MC 11-20-48 = MC 11-20-48 = MC

FRAMING 5-11-48 = MC 8-9-48 = MC

FINAL

PLUMBING CONTRACTOR

ROUGH IN

FINAL

ELECTRICAL CONTRACTOR

ROUGH IN

FINAL

INSPECTION RECORD 13952 DATE 6-19-56
OWNER Eva Reed LOCATION 1308 N. 12
CONTRACTOR Francis Yost VALUE \$450.00
TYPE OF BLDG. HEIGHT
AREA Sq. Ft. NEW REMODEL X
OCCUPANCY dwlg.

REMARKS: Relocate partition for bath, provide for
ventilation in bath

Comp. 9-4-56 F

INSPECTIONS

EXCAVATION & FOOTINGS

FOUNDATION

FRAMING

6-21-56 T 9-4-56

FINAL

PLUMBING CONTRACTOR

McCashin

ROUGH IN

6-20-56

FINAL

ELECTRICAL CONTRACTOR

ROUGH IN

FINAL

BUILDING PERMIT APPLICATION BOISE CITY

200.00
 DATE December 21, 1973 No. **13636**

THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT FOR THE WORK HEREIN INDICATED OR AS SHOWN AND APPROVED IN THE ACCOMPANYING PLANS AND SPECIFICATIONS.

LEDGER
 OWNER PHONE 376-7400

OWNER Western States Inv. ADDRESS 1308-1308 1/2 N. 12th BUILDER PHONE 275-7574

BUILDER Charles Waller ENGINEER ARCHITECT DESIGNER

STRUCTURE NEW REMODEL ADDITION REPAIR RENEWAL FIRE DAMAGE DEMOLITION

RESIDENCE COMM EDUCATIONAL GOV'T RELIGIOUS PATIO CAR PORT GARAGE STORAGE SLAB FENCE

BOND MOVING CONDITIONAL USE DESIGN REVIEW COUNCIL APPROVED SIGNS

OCCUPANCY I LAND USE ZONE R-2 BLDG. TYPE V FIRE ZONE III PLAN CHECK BY _____ HEAT _____

To make repairs as per mini sheet. Electrical and plumbing permits will be required.

FINAL
1/20/75
Wd

OCC. LOAD _____ FLOOR LOAD _____

BUILDING DEPARTMENT	
VALUE	\$200.00 <input type="checkbox"/> CK
FEE PAID	\$5.00 <input checked="" type="checkbox"/> FS
DIRECTOR	<u>Obenchain</u>
BY	<u>EX LP/cis</u>
APPROVED	<u>Dll</u>

THIS PERMIT IS ISSUED SUBJECT TO THE REGULATIONS CONTAINED IN THE BUILDING CODE, ZONING, REGULATIONS AND ALL APPLICABLE CODES AND ORDINANCES, AND IT IS HEREBY AGREED THAT THE WORK WILL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. THE ISSUANCE OF THIS PERMIT DOES NOT WAIVE RESTRICTIVE COVENANTS. THIS PERMIT WILL BECOME NULL AND VOID IF WORK IS NOT STARTED WITHIN 60 DAYS OR WORK ABANDONED FOR 120 DAYS.

APPLICANT OR AGENT _____
 ADDRESS _____ PHONE _____

STRUCTURAL

DATE	ITEM	NOTATIONS
DEC 27 1973	N.K.	<p>Final on for Leo Perez this house is vacant & I have never found any one here has never housing stopped they have and all is done except a new Electrical Service</p>
FINAL		
2 OCT 1974		

DATE	REFERENCE	PERMIT #	FINAL	MISC.
	PLUMBING	FINAL DEC 31 1973	Red	#4067
	HEATING	5322	FINAL	EIS
12/10/74	ELECTRICAL	5322	FINAL	EIS



Derick O'Neill

Director

Boise City Hall

150 N. Capitol Boulevard

Mailing Address

P. O. Box 500
Boise, Idaho 83701-0500

Phone

208/384-3830

Fax

208/384-3814

TDD/TTY

800/377-3529

Web

www.cityofboise.org/pds

Mayor

David H. Bieter

City Council

President

Elaine Clegg

Council Pro Tem

Lauren McLean

Maryanne Jordan

Scot Ludwig

Ben Quintana

TJ Thomson

Planning & Development Services

May 3, 2016

Gavin O'Neal
1308 N. 12th Street
Boise, Idaho 83702
gavoneal@gmail.com

RE: **DRH16-00148 / 1308 N. 12th Street**

Dear Applicant:

This letter is to inform you your application has been scheduled to be heard before the Boise City Historic Preservation Commission on **Monday, May 23, 2016 at 6:00 p.m.** in the Council Chambers on the third floor of City Hall. It will be necessary for you or your designated representative to attend.

Please be advised that you or your representative will be permitted up to twenty minutes to present your application. Members of the public will then be given up to three minutes to present testimony. Following public testimony, you or your representative will be allowed up to five minutes to rebut public testimony. The Historic Preservation Commission may, at its discretion, allow more time to answer questions posed by the Commissioners.

A staff report on your application will be ready for your review two (2) working days prior to the hearing date.

If you have any questions, please contact me at 395-7840.

Sincerely,

Sarah M. Schafer
Manager, Design Review and Historic Preservation
BOISE CITY PLANNING AND DEVELOPMENT SERVICES

SMS/nh

cc: Amy Cook / Amy Cook, Architect, Inc. / amy@aacarchitecture.com