



PLANNING AND DEVELOPMENT SERVICES

MAYOR: David H. Bieter | DIRECTOR: Derick O'Neill

MEMO

TO: Design Review Committee

FROM: Sarah Schafer, Manager, Design Review and Historic Preservation

DATE: April 27, 2018

RE: DRH17-00530 | Home 2 Suite by Hilton

BACKGROUND

Raymond Management Company was granted detailed design review approval for a 7-story, 138-room hotel with attached 8-level, 525-600 stall parking garage in a C-5DD (Central Business with Downtown Design Review) zone at the January 10, 2018 Design Review Committee meeting. The project was initially granted a conceptual approval for the building massing at the Design Review Committee's December 13, 2017 meeting for the mass and architectural style only.

There was no appeal filed and the applicant has been working through construction documents for the project. The following drawings are the sheets out of the packet the planning team had time to review from the 156 sheets submitted. As part of the building permit submittal, the sheets not reviewed as part of this work session will be reviewed by the appropriate disciplines to ensure compliance with the appropriate codes for items such as street light locations, curb radii, building code requirements, etc. This review is only reviewing for compliance with the conditions of approval and has pulled the elevations, site and landscape plans along with some detail sheets as it may relate to windows or screening to review the conditions. If something has changed from the original approval, but was not addressed in the attached letter from the applicant or documented in this memo, it is not deemed automatically approved.

On April 11, 2018 Raymond Management Company attend the work session set before the Design Review Committee with revised plans addressing the Design Review Committee's concerns. The Committee took the testimony but was unable to have discussion or take action on the information as the agenda was not continually posted on-line for 48 hours prior to the hearing and we were unable to verify how long the agenda was down. The work session has been advertised, posted and scheduled for Thursday, May 3, 2018.

Site Specific Conditions

1. Compliance with the plans and specifications submitted to and on file in the Planning and Development Services Department dated received November 8 and 21, 2017,

and December 22, 2017 except as expressly modified by the following conditions:

- a. A public hearing shall be held on January 10, 2018, for the detailed design review approval for this application. No building permits can be submitted prior to the public hearing or subsequent required work sessions. **Condition Met.**
- b. The sidewalk on Front Street shall maintain an 8-foot width at its narrowest point. **Met with plans dated received December 22, 2017.**
- c. Provide American Linden trees on 5th Street (Redmond, American Sentry or Legend cultivars appropriate.) **Shown on sheet L1.00, Site & Landscape Plan.**
- d. Provide full sized Ginkgos on Front Street. (Autumn Gold, Halka, Magyar or Golden Colonnade cultivars are appropriate.) **Shown on sheet L1.00, Site & Landscape Plan.**
- e. A public work session shall be held prior to application for any building permit to review and approve the design for the green space at the southeast corner of the site. **The work session was held on April 11, 2018.**
- f. Show how blank walls are to be addressed on the parking structure and hotel either through landscape or other methods such as art, changes in materials or additional windows. **The new blank wall finished in stone visible on the east elevation to the flow of traffic on the first floor adjacent to the pocket park shall be addressed. Condition Met through drawings dated April 27, 2018.**
- g. The fencing for the patio along Front Street shall maintain an 8-foot wide clear public sidewalk as required by the Streetscape Standards. **Met with plans dated received December 22, 2017.**
- h. A public work session shall be held prior to application for any building permit to review and approve the design for the green space on the west end of the site. **The work session was held on April 11, 2018.**
- i. A work session shall be held at 30-percent construction documents to review the design. Specific details to be reviewed are the following:
 1. Mechanical equipment and duct work shall be screened to the full height by mechanical louvres or screens. **The mechanical equipment is through the wall and not roof mounted. The units that are through the wall will be screened with a mechanical screen matching the color of the adjacent wall finish.**
 2. Window details within the wall plane. **The details have been shown and discussed as part of the analysis.**
 3. Cut sheets and locations for all exterior lighting shall be provided. Lights shall not cause glare on adjoining streets.
- j. The access on 6th Street shall be reduced in width to allow for entry only. **The**



access width to 6th Street has been reduced to 16.5-feet back of curb to back of curb.

- k. Exit from the parking garage to the alley is allowed. The alley exit is shown on the plans for the April work session.
- l. High capacity, special events with on-site traffic control operators may change the one-way in entry on 6th Street to an exit for a short period of time while the garage is emptying. The goal of the personnel would be to assist drivers in making safe turning movements with other exiting locations on 6th Street.
- m. The bike rack detail shown on sheet L1.01, Landscape Details, shall use the city bike racks in all public right-of-way bike racks. On the private property, the bike rack shown in this detail may be used.
- n. The walls along the alley that have been changed to half walls and chain link shall be changed back to full height solid walls. The wall adjacent to the generator yard shall be changed to a mechanical screen wall to be reviewed by the Design Review team prior to building permit issuance.
- o. The construction document package currently includes sign information for the parking and the hotel. Signage is under separate permitting. Size, location and construction has not been reviewed or approved with this application.
- p. The framing of the metal fins on the parking structure shall be added back into the design. Details shall be shown on how the frame and the fins match up to finish off the structure at both the top and bottom as well as at the openings throughout the design.
- q. Provide a material palette with the revised materials for the hotel.
- r. The finish of the parking structure shall be with an integral color concrete to ensure a consistent finish from pour to pour even if it is a gray tone. The concrete finish shall be smooth and provide an overall complete finish look.
- s. Provide a partial wall on the pocket park side of the parking structure to screen the at grade parking from Front Street. UPDATE: In place of this condition, the applicant is proposing landscape within the pocket park to screen the parking spaces on the first level of the garage.
- t. Make sure all plans throughout the documents match.
- u. Recess the windows within the EIFS to create a shadow line.
- v. Consider additional board form bench seating in the northwest plaza around the existing proposed planter.



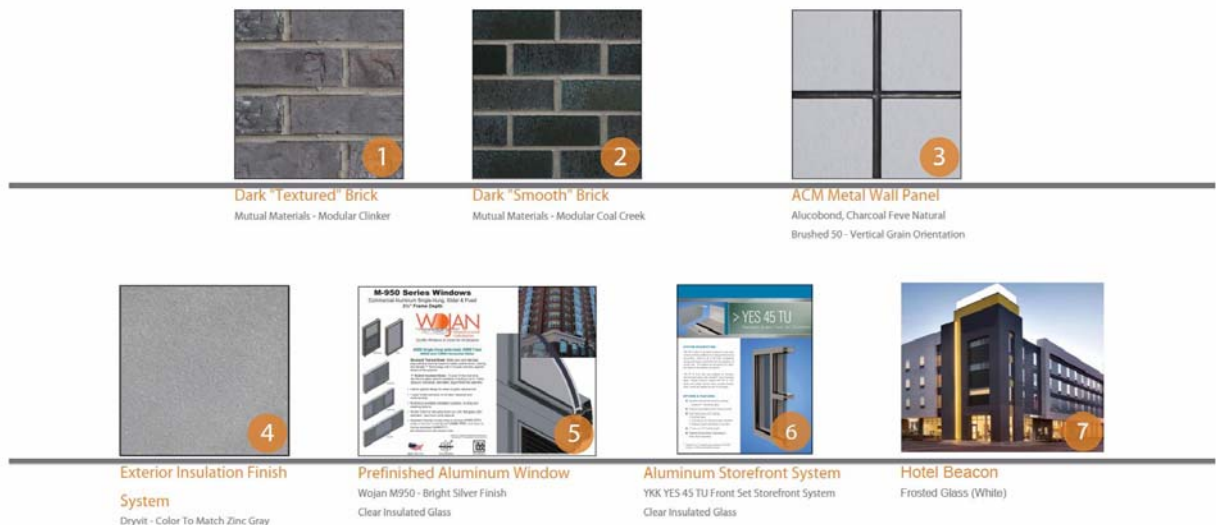
- w. Trees within the tree grates in the southeast corner pocket park should include a suspended pavement system to ensure the healthy growth of the trees.

ANALYSIS

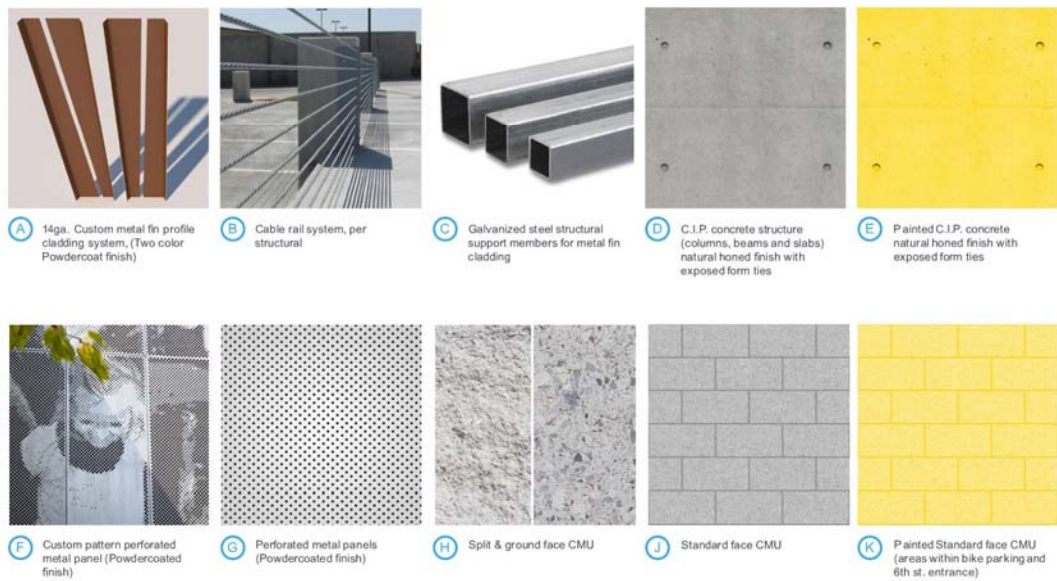
The package as presented is broken up into a "garage package" and "hotel package". The project is not to be a phased project and is to be constructed under one building permit. As the documents are currently broken up, there are differences in the elevations from one set to the next. For example, the chain link fence along the alley adjacent to the generator yard is shown in the "G" series drawings and not shown in the "A" series drawings where the hotel elevations are also shown. The project is not to be submitted as a phased project. In conversations with the principal architect for the hotel the project is to be submitted as one package, but because of financing the two teams are wanting to split the drawings up separately similarly to what we are seeing now. This will need to be discussed with the building department. The applicant team may need to allow for additional time for review to ensure the drawings are the same from one package to the next as currently there are differences between the drawings. It is understood the project is only at 30-percent construction documents. However, errors between the drawings could cause problems at time of construction.

Materials Board for the Design Review Application

Hotel Exterior Material Palette



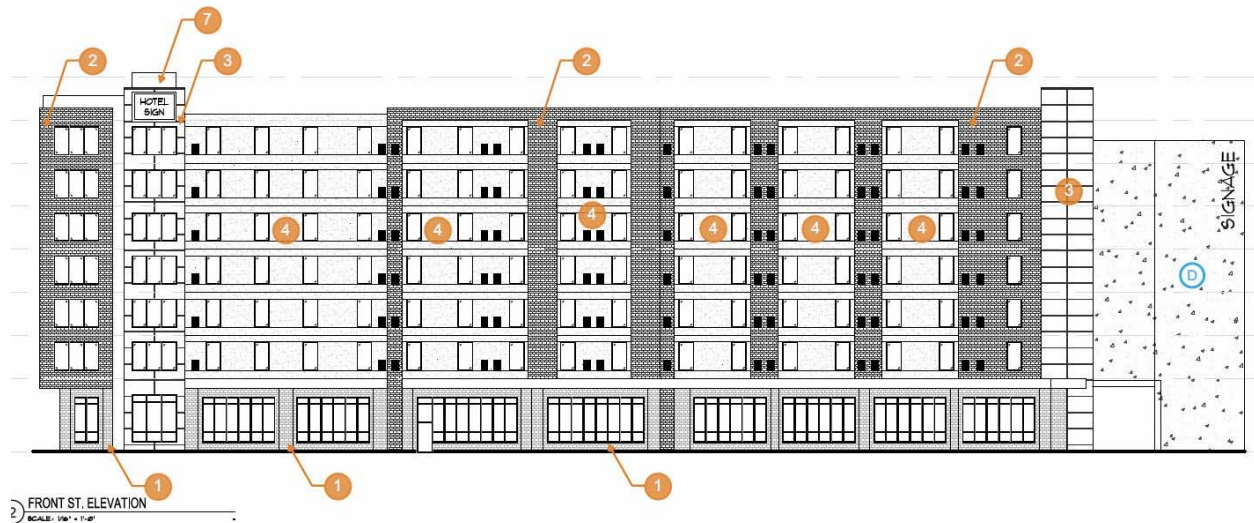
Garage Exterior Material Palette



Current Hotel Exterior Materials

GRAPHIC	EXTERIOR FINISH KEY	XX BUILDING SECTION - KEY NOTES
	(M-) METAL FINISH	1. UTILITY SIZED FACE BRICK (1/3 RUNNING BOND)
	(B-) BRICK FINISH	2. ARCHITECTURAL STONE VENEER
	(C-) CONCRETE FINISH	3. ALUMINUM COMPOSITE PANEL
	(E-) EPS FINISH	4. EXTRUDED ALUMINUM SIDING PANEL
	(ST-) STONE FINISH	5. EXTRUDED ALUMINUM SOFFIT PANEL
	(CMU-) CMU FINISH	6. EXTERIOR INSULATION FINISH SYSTEM (EIFS)
	(W-) WOOD PANEL FINISH	1. BACK-LIT LAMINATED GLASS "BEACON"
		8. CAST STONE SILL
		9. ALUMINUM STOREFRONT
		10. ALUMINUM WINDOW
		11. VTAC UNIT AND EXTERIOR LOUVER
		12. PRE-FINISHED METAL COPING
		13. INTERNALLY ILLUMINATED HOTEL SIGN
		14. VISION GLASS
		15. PRE-FINISHED ALUMINUM COMPOSITE PANEL FASCIA
		16. FDC
		17. SEE THIS PROJECT'S SPEC

South Elevation



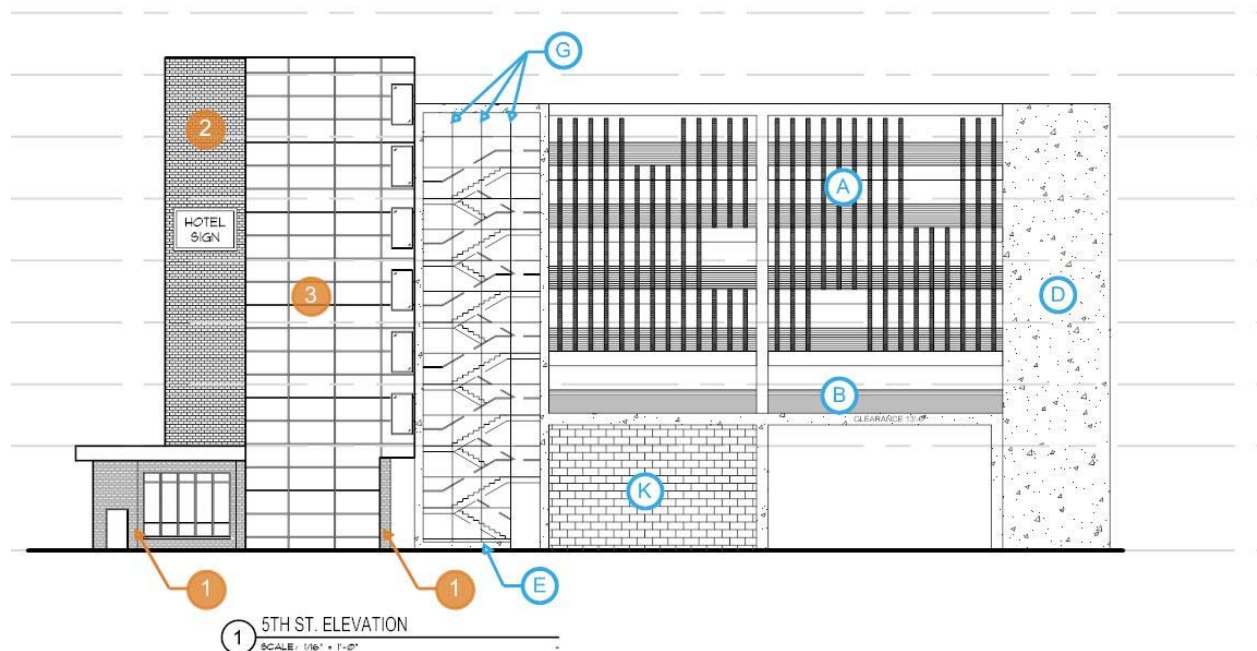
Through the elevation comparison seen above starting from left to right, there are changes in the left side of the upper levels of the structure. The bay of three windows were moved to the east. The material at the corner is a wood panel with an internally illuminated hotel sign (sign not approved under this application). A utility sized faced brick with no given color has been shown. The Exterior Insulation Finish System is used for the next two bays of the upper level. As the eye moves along the elevation to the east, there are changes in the material and changes in the height of the parapet line. Overall, the applicant has removed the use of the metal panels on this elevation, but has increased the use of the brick finish on the upper levels. At grade the metal panels are used above the storefront glass with the stone finish below the windows and between the window bays. This is a new material introduced to the project. A new material palette should be provided to the Committee for the hotel based on the current design.

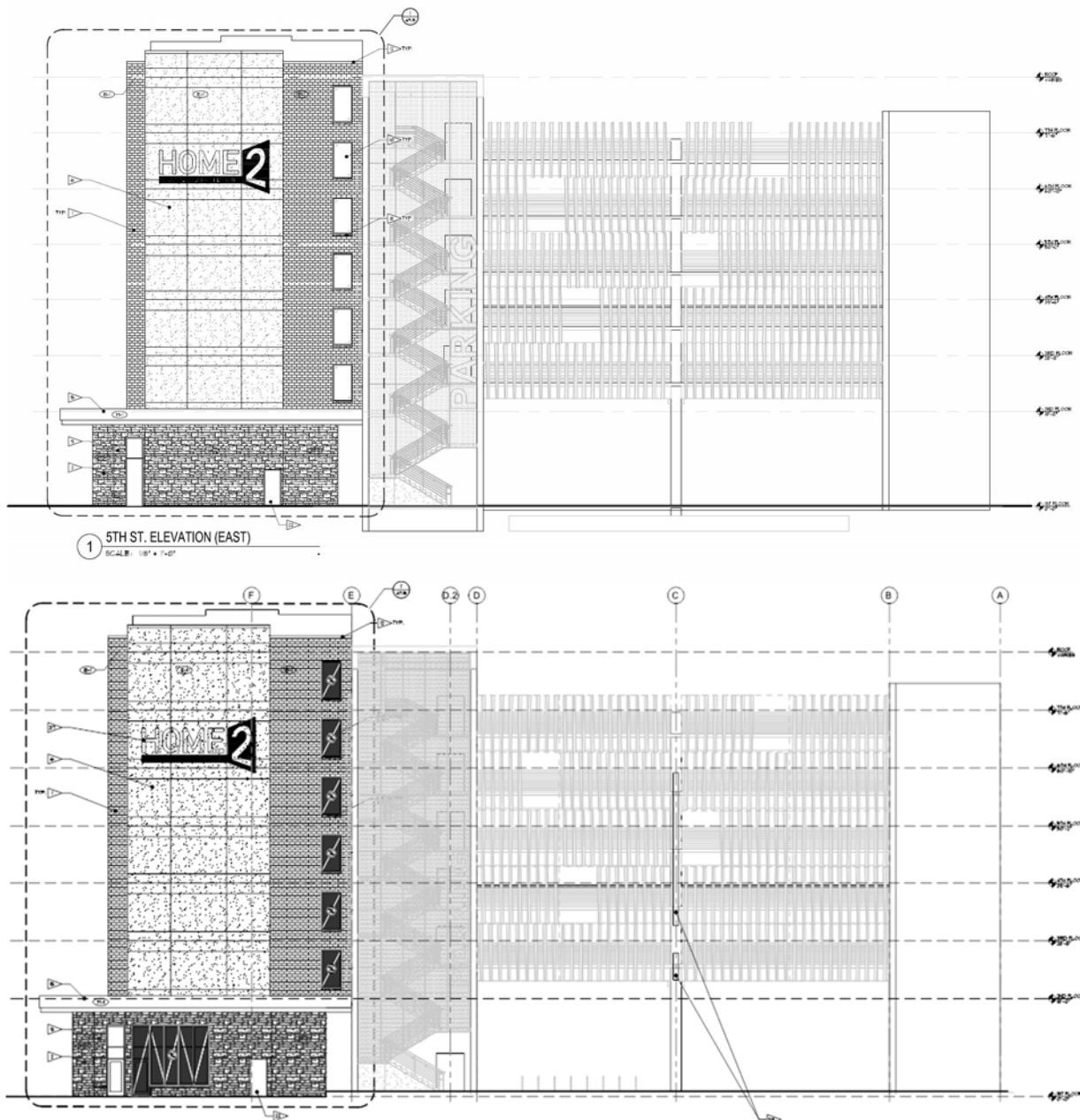
The natural honed concrete with the exposed form ties on the parking structure shall be appropriately finished, sanded down after being hand packed and all efforts shall be made to have the concrete finished in the same color. An integral color concrete to ensure this should be considered.

On the parking structure where the custom metal fin is used as a cladding system, there was previously a "frame" around the fins. This has been removed from all elevations. The south elevation now has a series of fins visible and the frame should be used. At the base of the structure at the garage, adjacent to the park, there should be a partial wall to separate the parking structure from the adjoining parking to reduce the visibility of the cars parked within the structure from Front Street. The applicant through drawings submitted on April 11, 2018 but date stamped into the system on April 27, 2018 is proposing landscape in the pocket park to screen the parking at this location. They stated as part of the April 11 work session that the access from the accessible parking to the site would be through the required partial wall the staff team was proposing. The landscape on the opposite side of the sidewalk would accomplish the screening, allow the accessibility and provide for the parking to remain. If the Commission is comfortable with the solution, recommended condition of approval 1s would need to be deleted.

It has not been shown how the blank wall space on the parking structure adjacent to the pocket park is to be reduced.

East Elevation

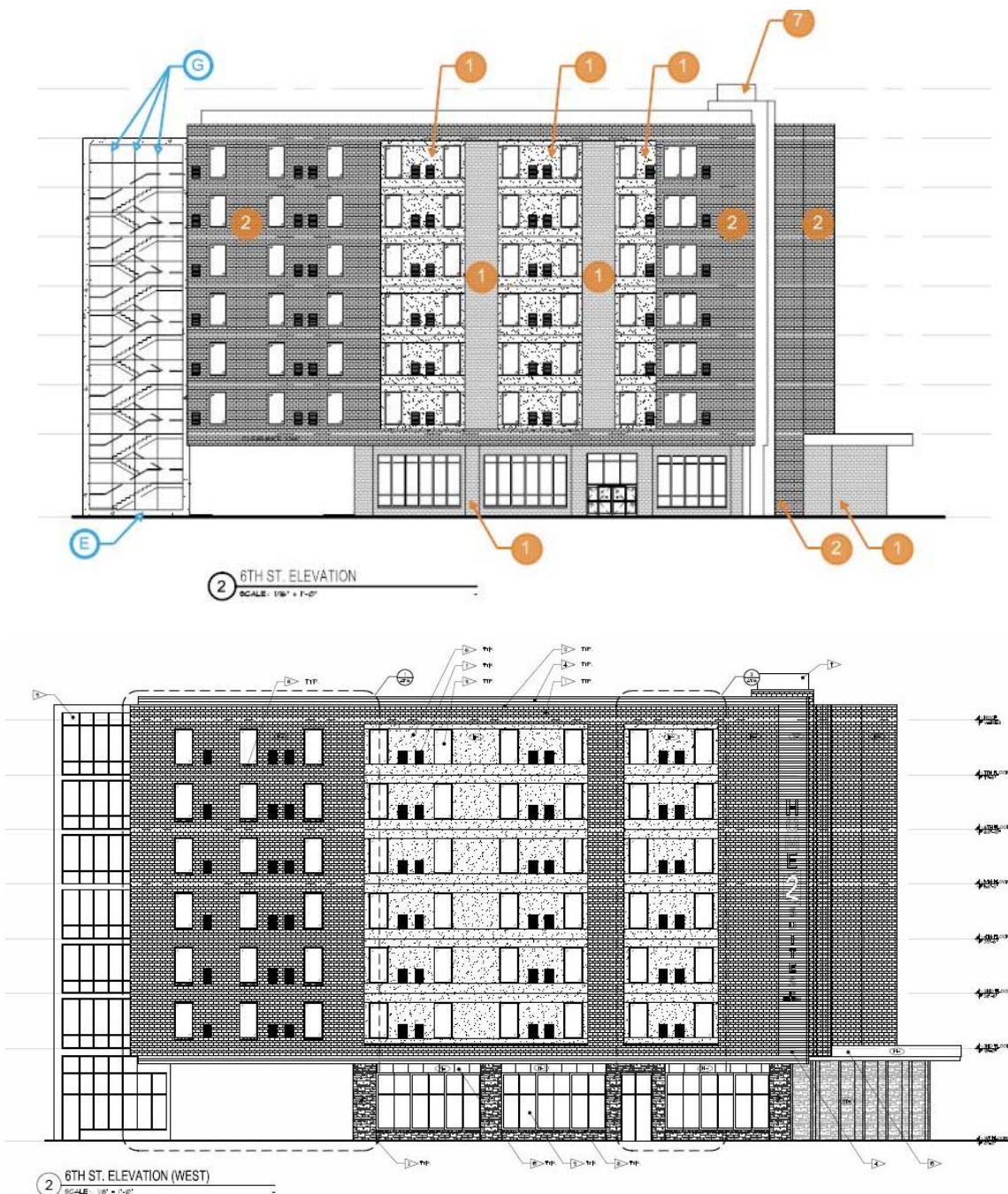




There is a lot of change in the materials on the east end of the building. The stone at the base of the hotel is no longer broken up with windows and leaves a large amount of blank wall space that will be highly visible to the flow of traffic. The frame around the metal fins on the parking structure should be replaced along both the top and bottom as well as around the openings. The frame should have a detail presented and show how it will work with the metal fins and be installed.

The last version of the east elevation shown above provides additional windows at the base of the building to break up the blank wall space at grade as required by the design guidelines. These elevations satisfy recommended condition of approval

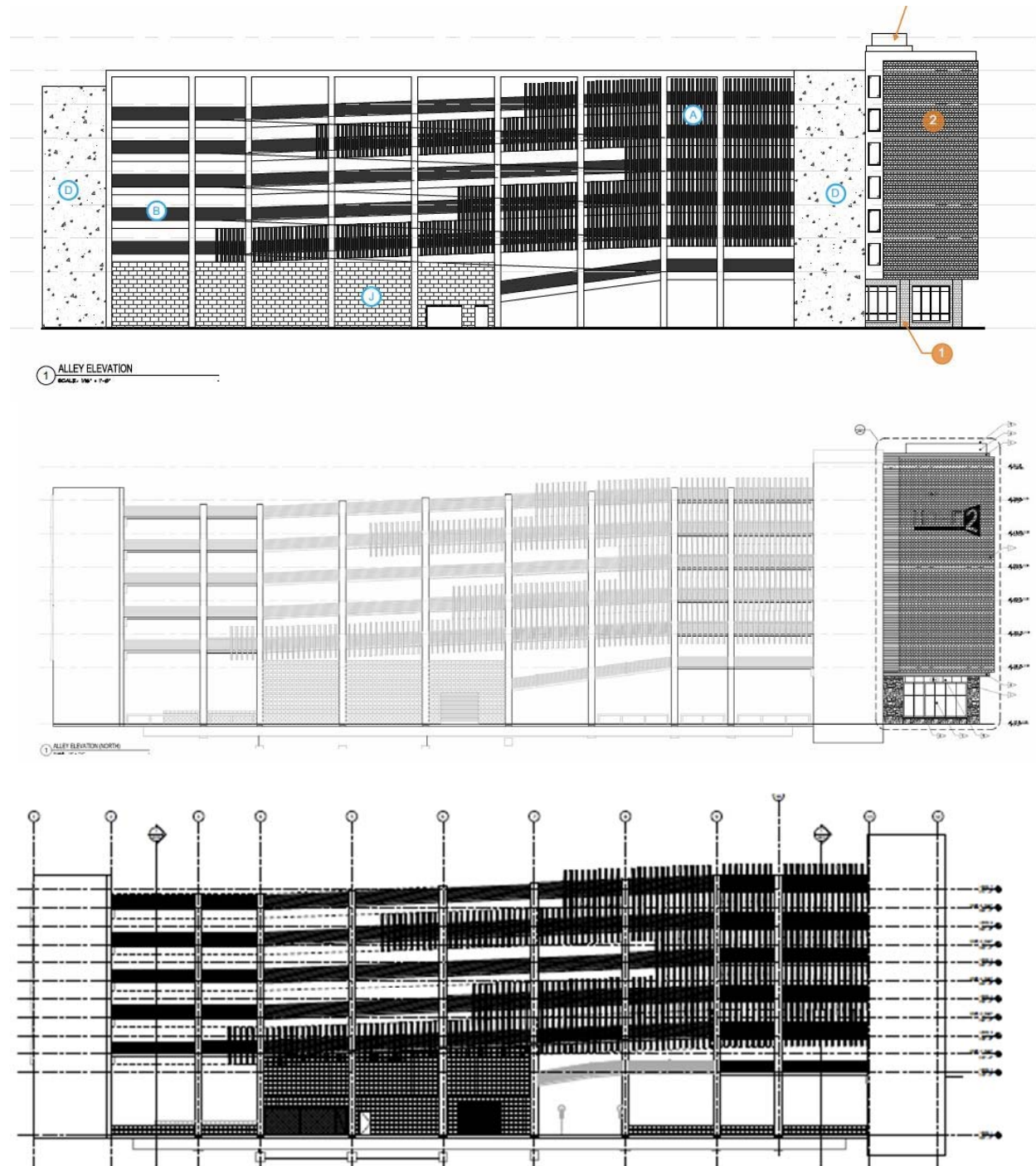
West Elevation



The west elevation is much the same in terms of massing and materials as the previous elevation. There has been refinement of the elevation as the project has progressed. The stair tower has been formalized with a glass enclosed stair, brick covers the upper

levels of the hotel over the access into the hotel drop off area. The ground level of the hotel is the stone and storefront with the upper level finished with EIFS and brick. There is a little wood panel used along this elevation.

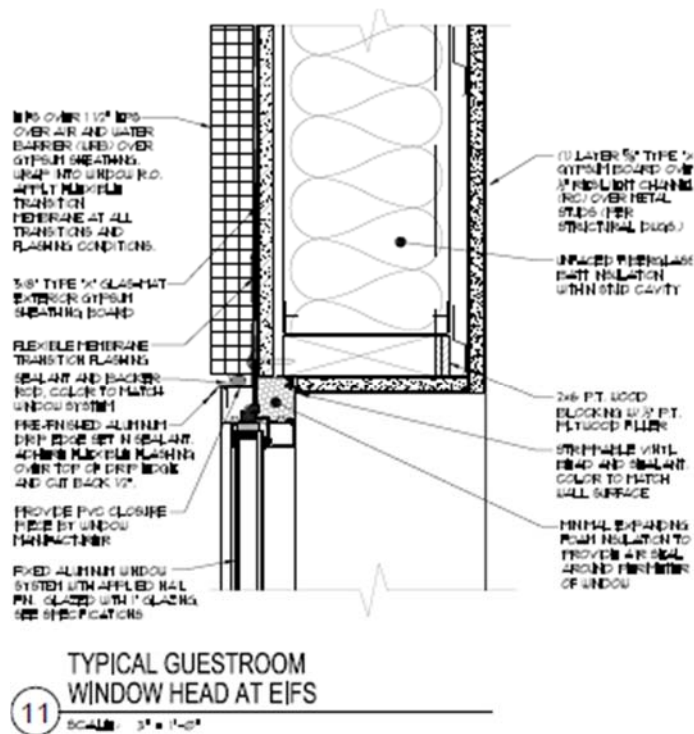
North Elevation



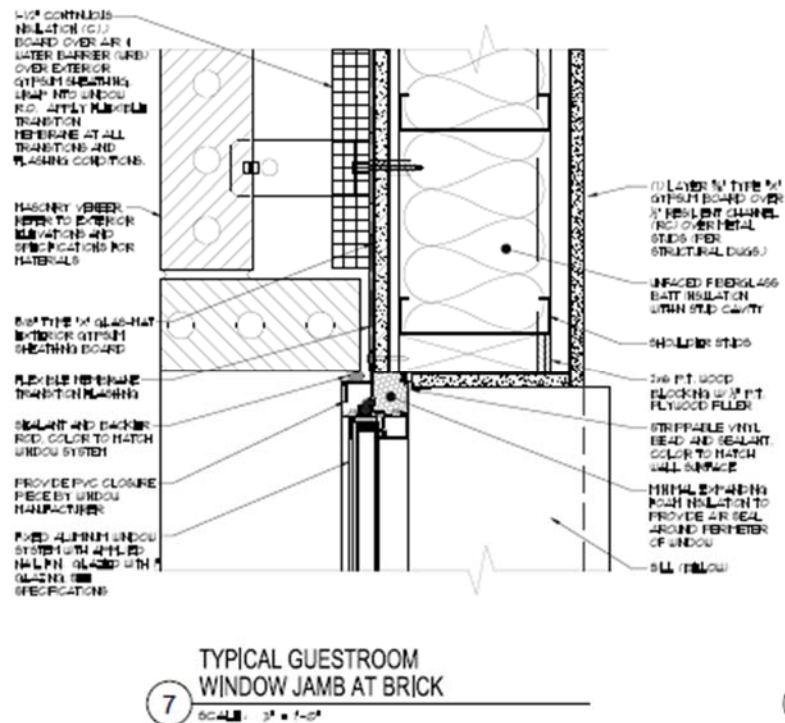
There are a couple of modifications on the north elevation of the structure like the other elevations. The framing in conjunction with the parking structure has been removed taking away a finishing cap for the metal fins and removing a finish look for the parking structure. This element of the design should be returned and the details regarding the materials and the connections should be provided. At the base of the building the wall adjacent to the alley has been removed and a half wall proposed along with a chain link fence to screen the generator. A recommended condition of approval is to replace the full height walls and to provide a mechanical screen/vent in place of the chain link fence at the generator location.

For the hotel portion of the structure on the north elevation, the brick is to remain on the upper portion of the elevation. The first level of the structure will have a stone finish with a metal panel above the windows. The sign shown on the elevation will need to be reviewed and approved under a separate application and building permit for size, location and construction.

Window Detail



The window detail shows there is no recessing of the windows within the wall plane where adjacent to the EIFS.



The detail of the window at the location where there is brick show the glass recess from the finish edge of the brick.

The detail of the window within the EIFS wall plane should be recessed. It doesn't need to be recessed as far as the brick detail but should not be flush with the finish of the EIFS.

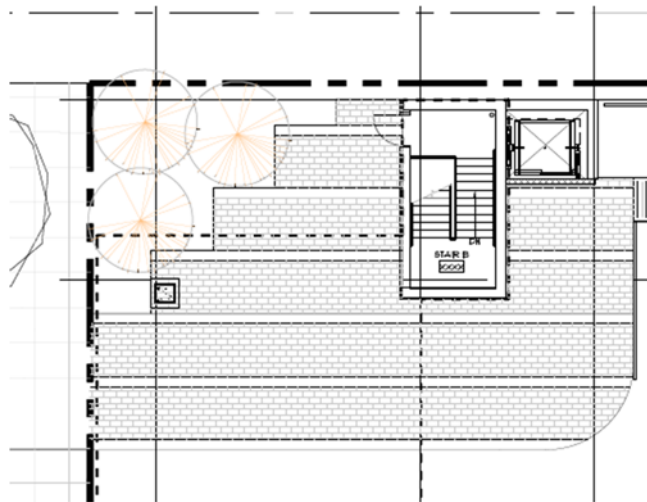
Outdoor Spaces

There are several outdoor spaces for gathering around the project. Starting at the northwest corner of the project there is an outdoor space and the ground level of the stair tower for the hotel and parking garage.

The original design review approval showed the following for the northwest corner of the site:

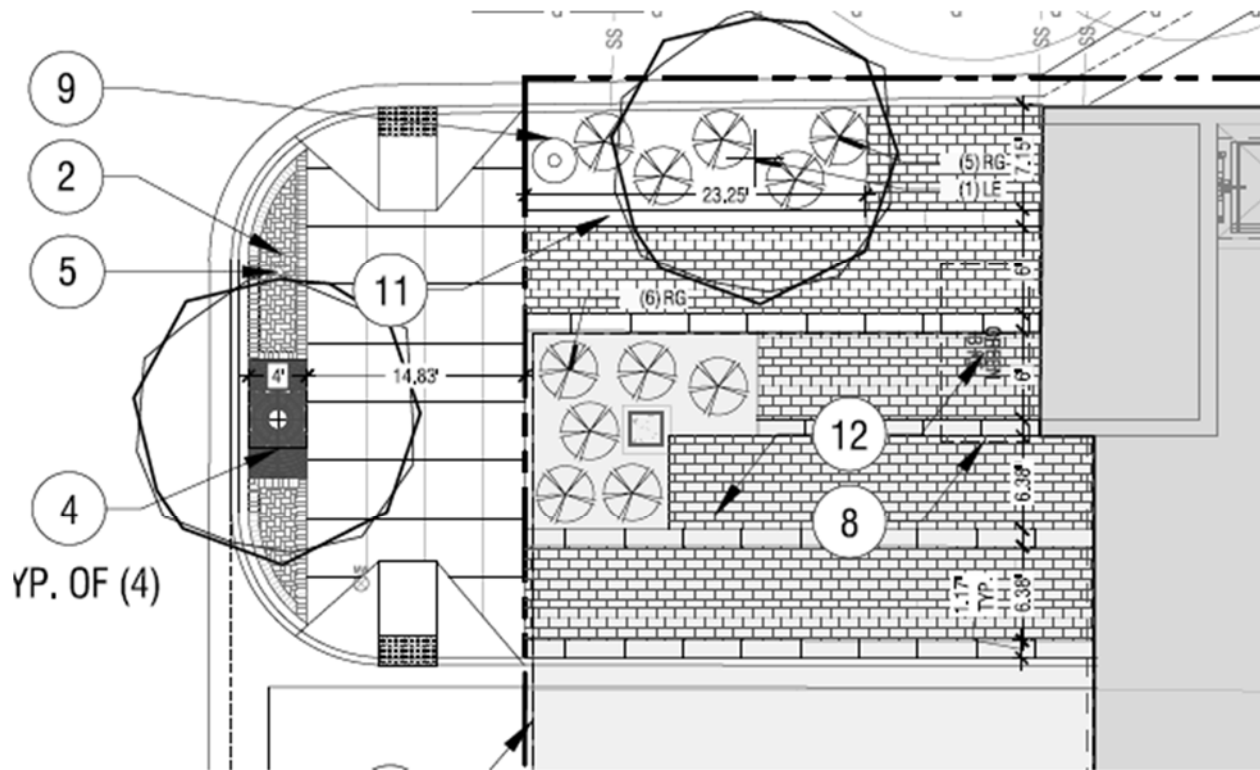


Sheet A 2.01 shows the following plan:



The proposal is for changes in the pavement and three trees in the northwest corner of the space.

Sheet L1.00 shows the following:



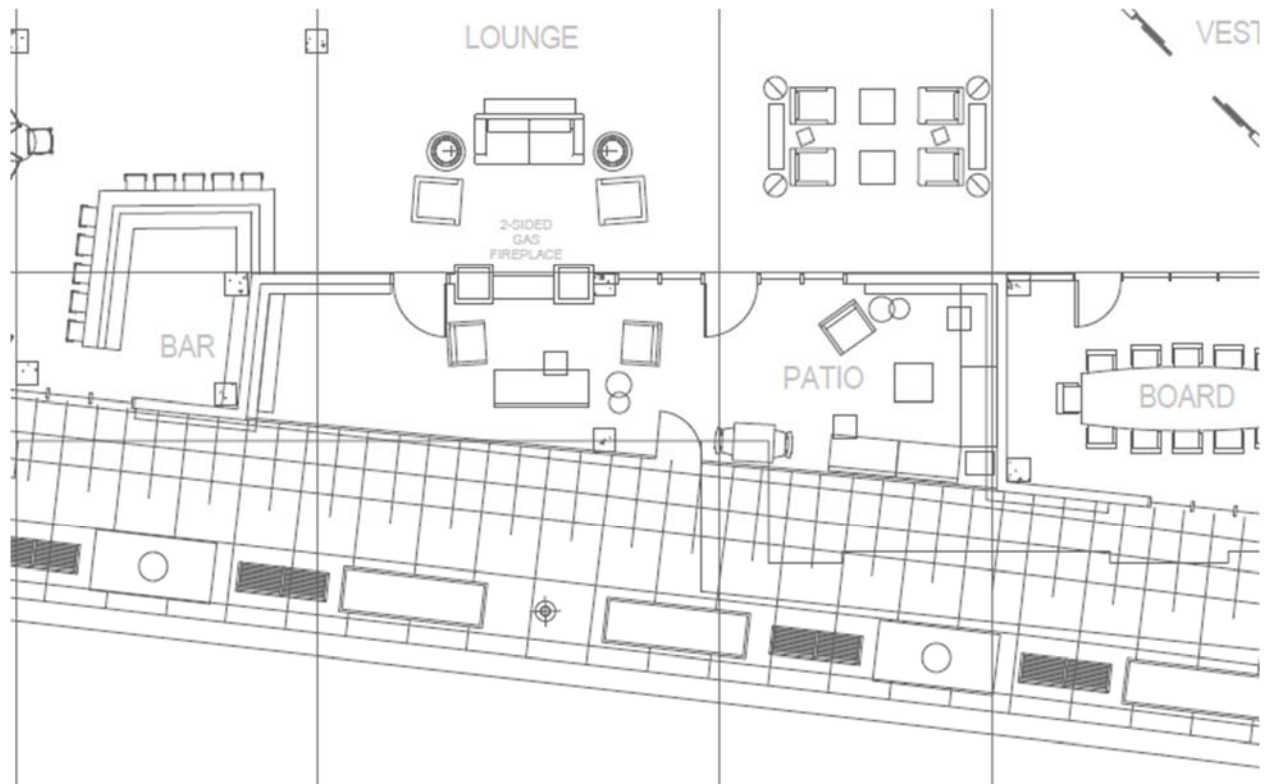
Note 8: Boise Green Bike Station

Note 11: Board form concrete seat walls

Note 12: Sand set plank pavers

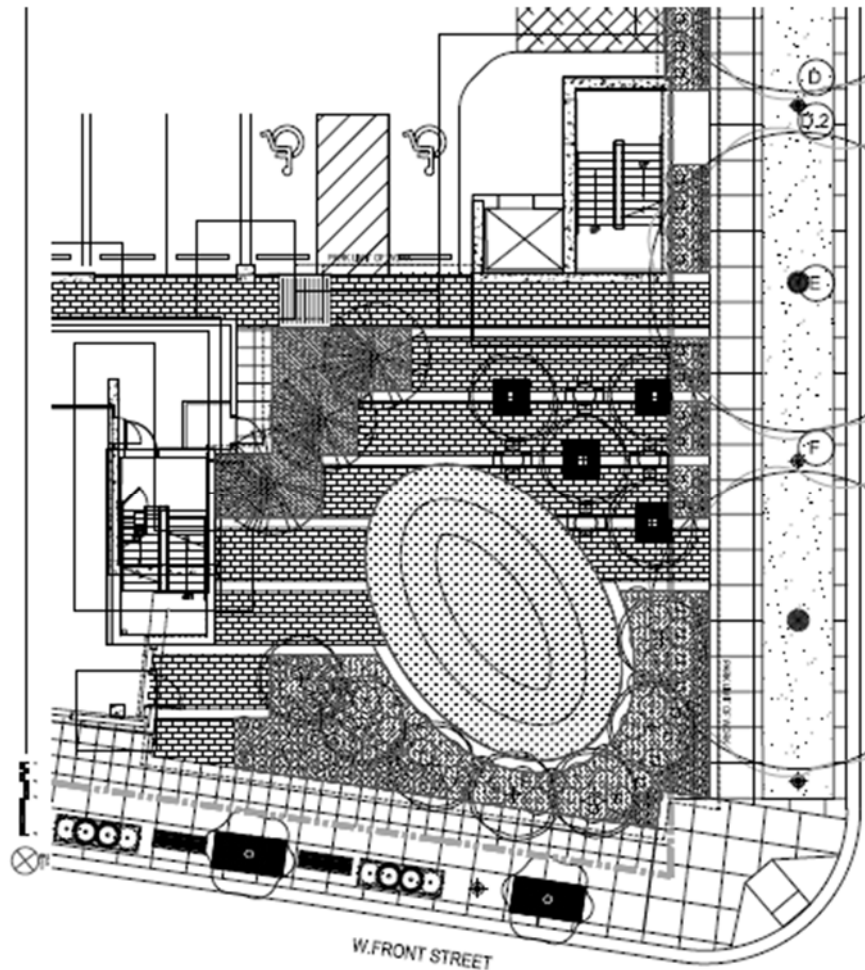
The sumac which quickly grows to a height of two to three feet is indicated within both planters. The Emerald City Tulip Tree is proposed for the planter adjacent to the alley. Bench seating should be considered around the other planter in the plaza to create a gathering space for the area and additional seating.

The plaza space on the south side of the building has changed slightly as the inside spaces have transformed.



The sidewalk clearances and the recess of the building wall help to create design interest in the building and provide a nice nook for the outdoor seating for the south side of the structure.

The pocket park at the southeast corner of the site has similar elements as the northwest plaza.



Dream Catcher Flowering Cherry trees and Balsam Fir trees are proposed for the pocket park. Turf sod is proposed for the oval at the intersection with some of the cherry trees within the planter spaces and four of them within tree grates throughout the plaza. For the trees within the tree grates, a suspended pavement system should be used to ensure the healthy growth of the trees.

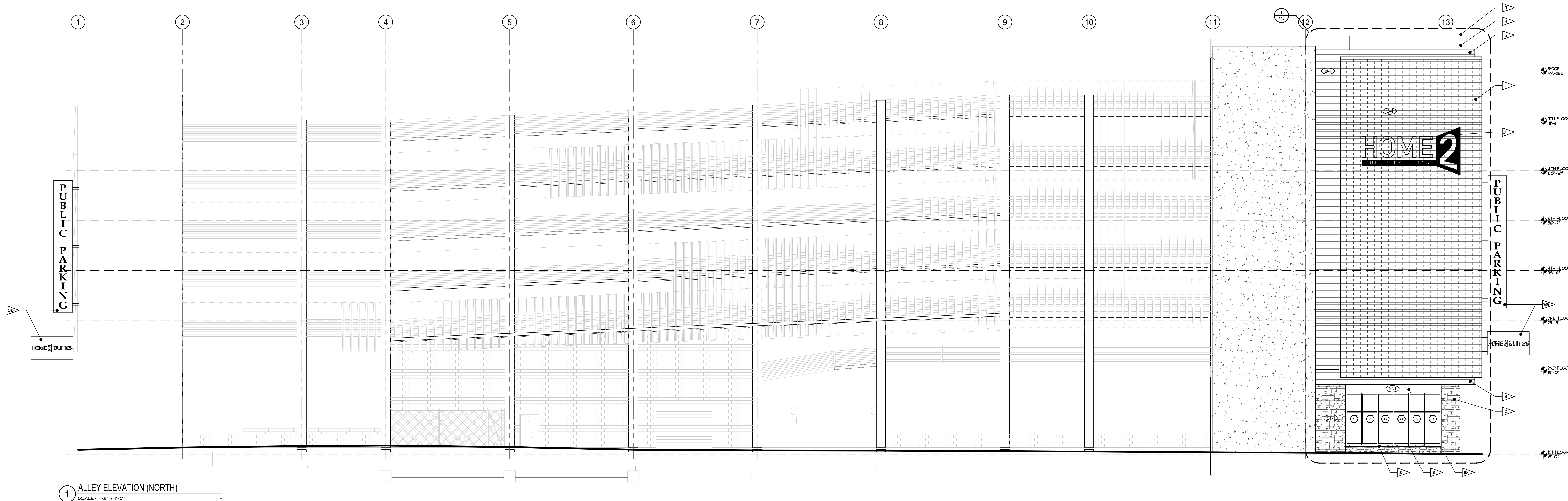
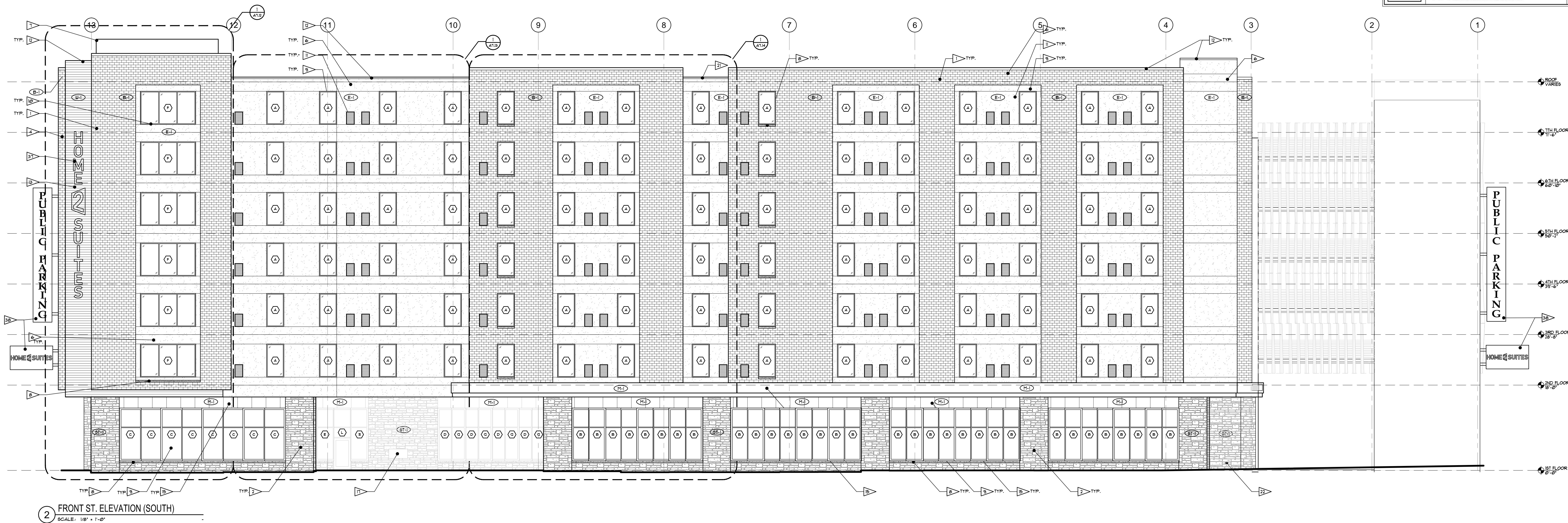
Conclusion

The overall design of the hotel with parking structure has remained the same with the massing. The materials have changed with the clarification of the hotel to go into the space. The building details have been refined as the project has moved forward. The removal of some of the details on the parking structure such as the framing around the metal fins should be added back in to create a finish like around the material and structure. Coordination of the documents and the project moves forward and finalization of details will be needed to maintain compliance with the design guidelines and the recommended conditions of approval.

GENERAL ELEVATION NOTES:

- GENERAL CONTRACTOR TO REVIEW AND VERIFY DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / FIRM PRIOR TO PROCEEDING.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL FLOOR-TO-FLOOR DIMENSIONS. NOTIFY ARCHITECT / FIRM OF ANY DISCREPANCY.
- ALL BRICK TO BE UTILITY SIZED, UNLESS NOTED OTHERWISE. REFER TO SPECIFICATIONS SECTION 04 20 00 UNIT MASONRY FOR PRODUCT INFORMATION.
- ALL EPS TO BE E-1, UNLESS NOTED OTHERWISE.
- ALL EPS TO BE 3" THICK EXPANDED POLYSTYRENE (EPS), UNLESS OTHERWISE NOTED.
- REFER TO PRODUCT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL WINDOWS AND DOOR GLAZING TO BE FULLY TYPED, UNLESS NOTED OTHERWISE.
- GLAZING INDICATED AS "GREY" OR "HATCHED" IN APPEARANCE INDICATES SPANDREL GLASS. REFER TO SPECIFICATIONS SECTION 05 00 00 FOR TYPE.
- ALL LINTELS ON EXTERIOR TO BE GALVANIZED AND UNDERSIDE TO BE PAINTED TO MATCH EXTERIOR FINISH MATERIAL / COLOR IT SUPPORTS.
- REFER TO SIGNAGE PACKAGE INCLUDED / SUPPLIED BY OWNER FOR EXACT SIGNAGE LOCATIONS, SIZES AND ADDITIONAL REQUIREMENTS. PROVIDE SOLID BLOCKING / BACKING BEHIND AREA INDICATED TO RECEIVE BUILDING POINTED SIGNAGE.
- REFER TO WALL SECTIONS (A1014) FOR RILL AND HEAD HEIGHTS NOT INDICATED.
- REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF BUILDING POINTED LIGHT FIXTURES. PICTURES ARE SHOWN ON ARCHITECTURAL DRAWINGS FOR GENERAL LAYOUT AND LOCATION ONLY.
- ALL LOUVERS, HVAC GRILLES, VENT COVERS, ETC. TO BE CUSTOM COLOR AND POWDER-COATED TO MATCH ADJACENT MATERIAL. COLOR, INLET OR INCH OTHERWISE. INSERT COLOR SAMPLE TO ARCHITECT FOR APPROVAL.

GRAPHIC	EXTERIOR FINISH KEY	IMAGE
	E-1 COAL CREEK UTILITY SIZE BRICK BY MUTUAL MATERIALS CO.	
	E-2 ANTIOCH MEGA ONYX FINE SAND FINISH EPS BY STO CORP.	
	E-3 ZINC EUROPEAN LEDGE STONE BY ELDERADO STONE	
	E-4 LIGHT CHERRY WOOD PANEL BY LONGBOARD	
	E-5 FN SER BRONZE METAL PANEL BY ALPOLIC MATERIALS	
	E-6 1/4 GA. CUSTOM METAL FIN PROFILE CLADDING SYSTEM (TWO COLOR POWDERCOAT FINISH)	
	E-7 GALVANIZED STEEL STRUCTURAL SUPPORT MEMBERS FOR METAL FIN CLADDING	
	E-8 PERFORATED METAL PANELS (POWDERCOATED FINISH)	
	E-9 C.I.P. CONCRETE STRUCTURE (COLUMNS, BEAMS & SLABS) NATURAL HONED FINISH w/ EXPOSED FORM TIES	
	E-10 PAINTED C.I.P. CONCRETE NATURAL HONED FINISH w/ EXPOSED FORM TIES	
	E-11 SPLIT & GROUND FACE CPU	
	E-12 STANDARD FACE CPU	
	E-13 PAINTED STANDARD FACE CPU (AREAS WITHIN BIKE PARKING AND 6TH ST. ENTRANCE)	



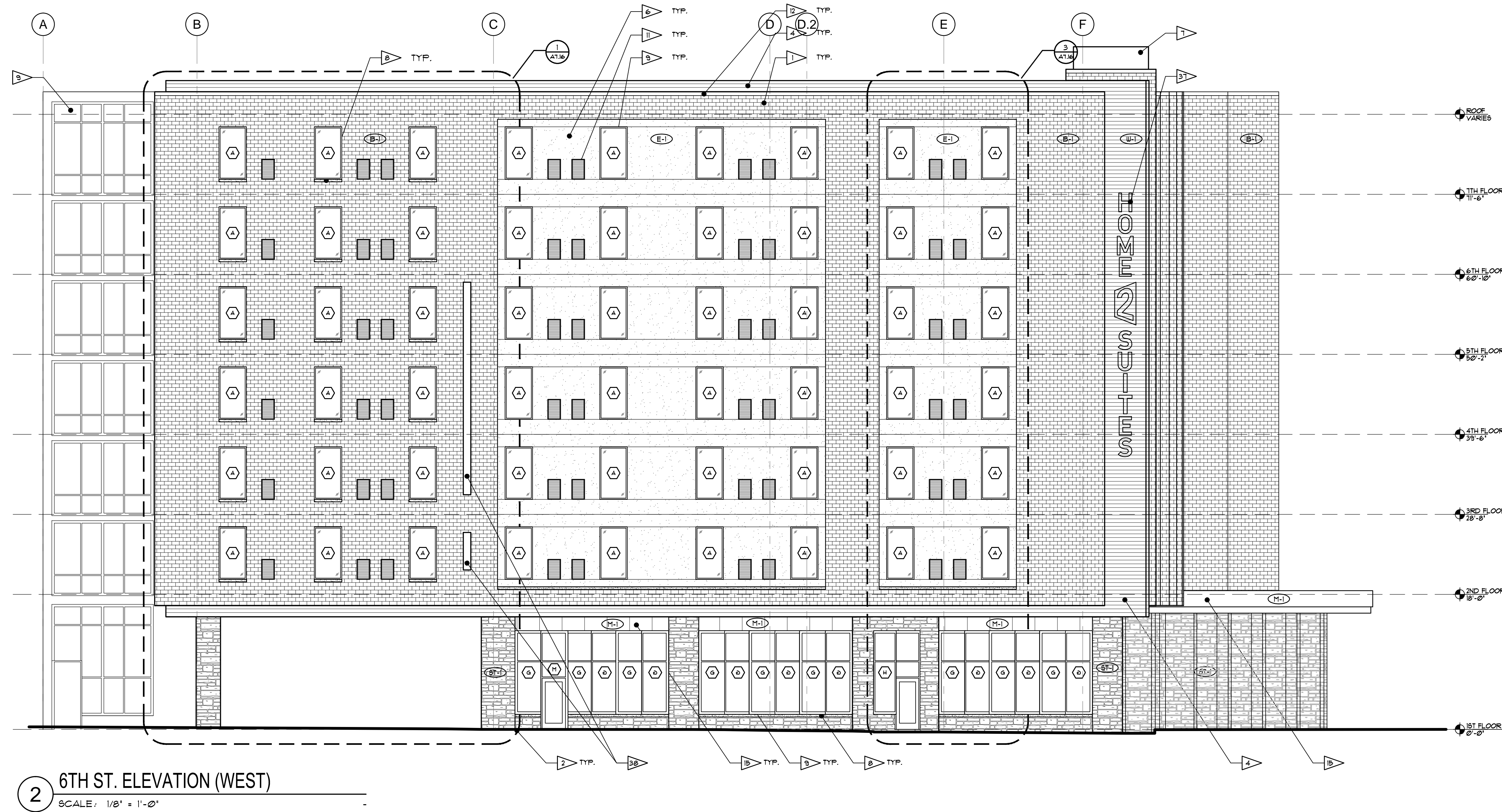
PROJECT: FRONT STREET DEVELOPMENT
BOISE, IDAHO
DEVELOPER: BOISE DOWNTOWN LODGING ASSOCIATES, LLC
CO-ORDINATOR: BOISE DOWNTOWN LODGING ASSOCIATES, LLC
333 GREENWAY BOULEVARD
MIDvale, UT 84044

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PROJECT: 201405.1
DRAWN BY: [Redacted]
DATE: [Redacted]
SCALE: AS NOTED
DESIGN REVIEW: 03/13/2016

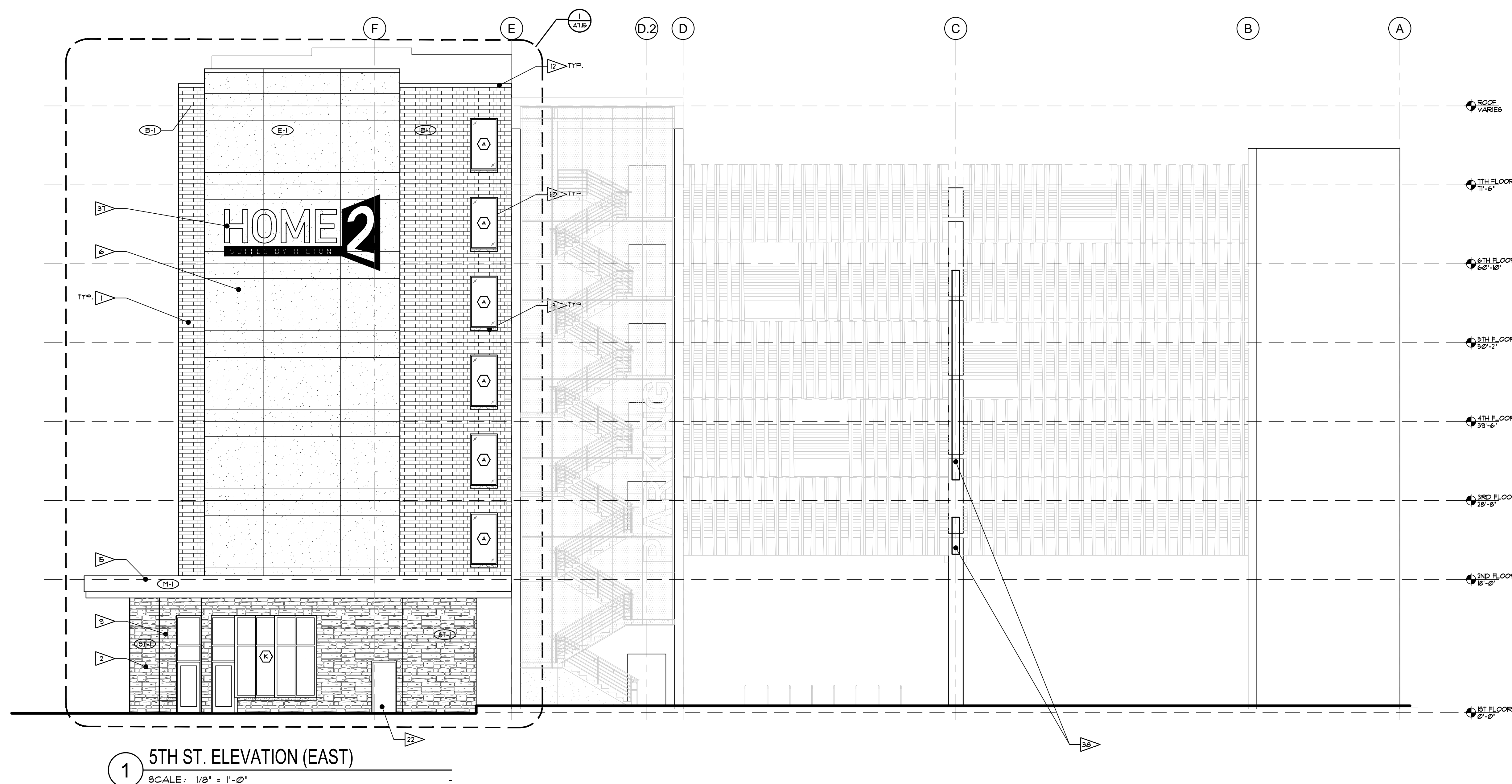
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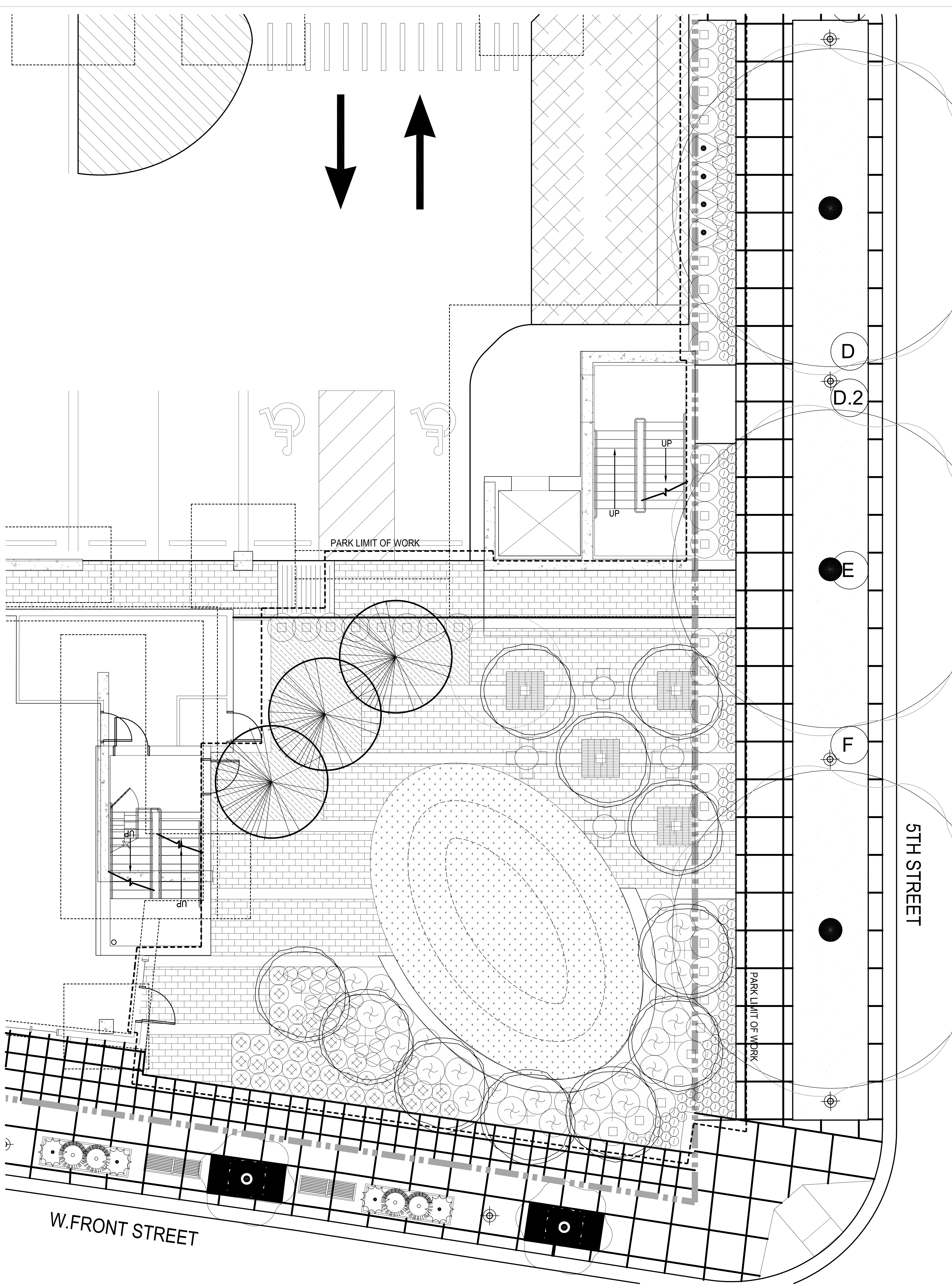
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





2 6TH ST. ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



1 5TH ST. ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT.	QTY	
	ABIES BALSAMEA	BALSAM FIR	15 GAL	3	
	PRUNUS X 'DREAM CATCHER'	DREAM CATCHER FLOWERING CHERRY	2" CAL	11	
SHRUBS	BOTANICAL NAME	COMMON NAME	MIN. CONT.	QTY	
	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	5 GAL	26	
	FESTUCA IDAHOENSIS	IDAHO FESCUE	5 GAL	199	
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL	40	
	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	HIDCOTE BLUE LAVENDER	5 GAL	35	
	LONICERA PILEATA	PRIVET HONEYSUCKLE	5 GAL	26	
	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	5 GAL	4	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY
	ARCTOSTAPHYLOS UVA-URS	KINNICKINICK	4" POT		267 SF
	TURF SOD	DROUGHT TOLERANT FESCUE BLEND	4" POT		706 SF

PLANTING NOTES

- ALL FURNISHED PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 AND THE DRAWINGS.
- SUBMIT PRODUCT DATA, QUANTITY, AND SIZE INFORMATION FOR ALL PLANTS AND PRODUCTS.
- SUBMIT SAMPLES OF ALL MULCH, WEED BARRIER, EDGING MATERIALS, AND ROOT BARRIERS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLANT SUBSTITUTIONS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- LANDSCAPE ARCHITECT SHALL INSPECT ALL PLANTS ON SITE OR AT THE NURSERY BEFORE PLANTING COMMENCES. NOTIFY LANDSCAPE ARCHITECT AT LEAST 7 DAYS PRIOR TO PLANT DELIVERY TO THE SITE.
- DO NOT PLANT DURING FREEZING CONDITIONS OR ABOVE 90°F.
- PLANTING AREAS ARE TO BE FREE OF ALL FOREIGN AND DELETERIOUS MATERIAL AND HAVE ADEQUATE MOISTURE FOR PLANTING.
- INSTALL PLANTING FERTILIZER TABLETS IN EACH PLANTING HOLE. TABLETS SHALL HAVE A (26) LB NUTRIENT COMPOSITION. PROVIDE (1) TABLET FOR GROUND COVERS AND SMALL SHRUBS, (2) TABLETS FOR MEDIUM TO LARGE SHRUBS, AND (3) TABLETS PER EACH CALIPER INCH FOR TREES.
- INSTALL ROOT BARRIER PER DRAWINGS AND DETAILS.
- USE INTEGRATED PEST MANAGEMENT PRACTICES. DO NOT APPLY PESTICIDES UNLESS WRITTEN AUTHORIZATION FROM THE OWNER IS RECEIVED.
- DURING AND AFTER PLANT INSTALLATION, CLEAN ADJACENT AREAS OF ALL DEBRIS AND REMOVE SURPLUS MATERIALS. REMOVE NURSERY TAGS, NURSERY STAKES, TIE TAPE, WIRE, BURLAP, AND OTHER DEBRIS FROM PLANTS.
- PLANT MATERIALS SHALL BE WARRANTED BY THE INSTALLER FOR A PERIOD OF (1) YEAR FROM TIME OF INSTALLATION.
- CONTRACTOR SHALL OFFER MAINTENANCE SERVICES FOR A PERIOD OF (6) MONTHS FROM TIME OF INSTALLATION AT OWNER'S EXPENSE AND DISCRETION.
- PLANTED AREAS TO BE IRRIGATED WITH A LOW WATER-USE, FULL HEAD-TO-HEAD COVERAGE OR 6" BELOW GROUND LEVEL, DRIP IRRIGATION SYSTEM.

SOIL PREPARATION NOTES

- BEFORE CONSTRUCTION BEGINS, HAVE A CERTIFIED LABORATORY SOIL TEST PERFORMED THAT ANALYZES PHYSICAL, CHEMICAL, AND BIOLOGICAL PROPERTIES PER SOIL SCIENCE SOCIETY OF AMERICA'S METHODS OF SOIL ANALYSIS. SUBMIT THE SOIL REPORT TO THE OWNER AND LANDSCAPE ARCHITECT BEFORE IMPORTED TOPSOIL AND AMENDMENTS ARE ACQUIRED.
- SUBMIT SAMPLES AND THE PRODUCT DATA OF EACH TYPE OF SOIL TO BE USED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- REMOVE 12" OF EXISTING SOIL DEPTH AND PLACE 12" OF IMPORTED TOPSOIL. PLACE 3" OF COMPOSTED MULCH ON TOP.
- STOCKPILE AND PRESERVE ANY EXISTING TOPSOIL ON SITE IF DEEMED SUITABLE.
- IMPORTED TOPSOIL SHALL HAVE A PH RANGE OF 6.5-7.5, A MINIMUM OF 20% ORGANIC MATTER CONTENT, HAVE A SANDY LOAM STRUCTURE, BE FINE-SILE, AND POSSESS THE CHEMICAL, NUTRIENT, AND BIOLOGICAL CONTENT NECESSARY FOR HEALTHY PLANT GROWTH. TOPSOIL SHALL BE FREE OF FOREIGN OR DELETERIOUS MATERIAL AND SHALL BE FREE OF WEEDS AND SEEDS.
- REMOVE FOREIGN AND DELETERIOUS MATERIALS FROM NATIVE SOIL BEFORE AMENDING.
- PLANTING SOIL SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 90% PROCTOR DENSITY AND SMOOTHED TO A LOOSE, FINE UNIFORM FINISH TO MEET FINISH GRADES. DO NOT WORK SOIL OR APPLY AMENDMENTS IF CONDITIONS ARE FROZEN, MUDDY, OR EXCESSIVELY WET.
- DO NOT MIX SOIL IN TREE PROTECTION ZONES.



GENERAL NOTES

