



PLANNING AND DEVELOPMENT SERVICES

MAYOR: David H. Bieter | DIRECTOR: Derick O'Neill

6

Summary for DRH18-00305

Staff's Recommendation

Move to approve DRH18-00305 as recommended in Findings of Fact, Conclusions of Law and the Recommended Conditions of Approval noted in the project report.

Summary

The Richardson Design Partnership – Peter Jacobsen, requests Design Review approval to construct a 37-664-square foot, 4-story hotel with site related improvements within the C-2D (General Commercial with Design Review Overlay) zone.

The applicant is proposing to construct the 4-story hotel located in the southeast corner of the site with the parking and drive aisles surrounding the building. The building is proposed to be a 4-story structure constructed of EIFS, hardi-board and coarse cut stone walls. The building will be accented with aluminum storefront windows and door treatments. The structure will also utilize grey awnings. The materials selected are commonly utilized on hotels and other commercial structures. The natural colors and textures will also complement the area and surrounding development by incorporating natural colors and textures found on other buildings within the area.

The Design Review Division has recommended the applicant make minor modifications to the setbacks, building height, sidewalks, bicycle parking, landscaping, the main entrance, building materials, window design and mechanical screening. With the recommended conditions of approval, the 4-story hotel will contain appropriate colors and materials, fenestration, and articulation.

The Conditions of Approval have been recommended to comply with the Objectives, Findings and Considerations of the Zoning Ordinance, the Design Review Guidelines and the goals and policies of the Boise City Comprehensive Plan.

This report includes information available on the Boise City Website. The entire public record, including additional documents, can be viewed through PDS Online through the following link:

<http://pdsonline.cityofboise.org/pdsonline/Permits.aspx?id=>

Design intent and philosophy of the project

In designing this extended stay hotel we captured the essence of place, and reflected the surrounding context. Our architectural expression evokes modernity, but at the same time the form and materiality of the building echoes many of the architectural expressions of its neighbors achieving visual harmony and continuity. The form of the building is simple and elegant. The exterior extrusions inform the programmatic organization of the interior. The materiality of the exterior articulates and gives tactile expression to the different planes of the façade. Not only will this be attractive to pedestrians, but will also give a sense of scale by alternating different textures, hues, and materials (cut stone veneer, EIFS, and fiber cement wood finish). The location of the building on the site has the least exposure to the west to minimizing the energy use during summer. In response to site conditions, the landscape design incorporates plants that are native or similar to the region maintaining and enhancing the visual character to the area.

Building description

The Boise Airport Hotel will have 67 guestrooms comprising of approximately 37,000 square feet. The building structure will be 4-story wood-framed construction over a concrete slab-on-grade. This hotel will be located in Boise, Idaho at the corner of Shoshone Street and Elder Street. The floor plan layouts will include double queen guestroom units, reception area, lounge / lobby, back of house laundry, guest laundry, fitness area, and storage.

SHEET NOTES	
26.02	EXTERIOR LIGHT FIXTURE
26.02	PARKING LOT LIGHT POLE AND BASE. REFER TO ELECTRICAL DRAWINGS.
32.02	ADA PARKING SIGN - SEE CIVIL
32.03	ADA CURB RAMP
32.04	MONUMENT SIGN
32.12	ELECTRICAL VEHICLE RECHARGING STATION
32.25	CONCRETE WHEEL STOP - SEE CIVIL
32.28	ADA TEXTURED WARNING CURB RAMP - SEE CIVIL
32.29	PARKING STRIPE - SEE CIVIL
32.30	SIDEWALK - SEE CIVIL
AP1	36" WIDEN ACCESSIBLE ROUTE.

SITE GENERAL NOTES

1)	ALL SITE WORK SHALL BE COORDINATED WITH CIVIL DOCUMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION. NO WORK SHALL BE PERFORMED ON THE CONTRADICTIONARY INFORMATION OR ANY EXISTING CONDITION NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS WITHOUT FIRST CONSULTING THE ARCHITECT AND CIVIL ENGINEER.
2)	COORDINATE ALL LANDSCAPING, PARKING STRIPS, AND SIDEWALKS SHOWN WITH LANDSCAPE DRAWINGS.
3)	CONTRACTOR IS RESPONSIBLE FOR RELOCATION OF DRY UTILITIES. RELOCATION TO WOOD UTILITIES PROVIDER, E- FIBEROPTICS, CABLE CO., FOR RELOCATION OF SHORING, MAINTENANCE OR REPAIR OF ALL EXISTING UTILITIES. REFERTO CIVIL AND MECHANICAL DRAWINGS FOR WET UTILITIES.
4)	FOR SIDEWALK AND PAVING FINISH GRADES, COORDINATE WITH ARCHITECTURAL, CIVIL, AND LANDSCAPE DRAWINGS.
5)	SEE SITE ELECTRICAL PLANS FOR ALL SITE LIGHTING/ POST LIGHTS. ARCHITECT AND LANDSCAPE TO VERIFY FINAL LOCATIONS.
6)	DO NOT SCALE DRAWINGS.

[illegible]

**BURGESS INVESTMENT
GROUP**

1225 NORTH HAVEN HILLS DRIVE
CEDAR CITY, UTAH 84721

OWNER:

BOISE AIRPORTHOTEL
2909 ELDERSTREET
BOISE, IDAHO 83705

[illegible]

ARCHITECTURAL
SITE PLAN

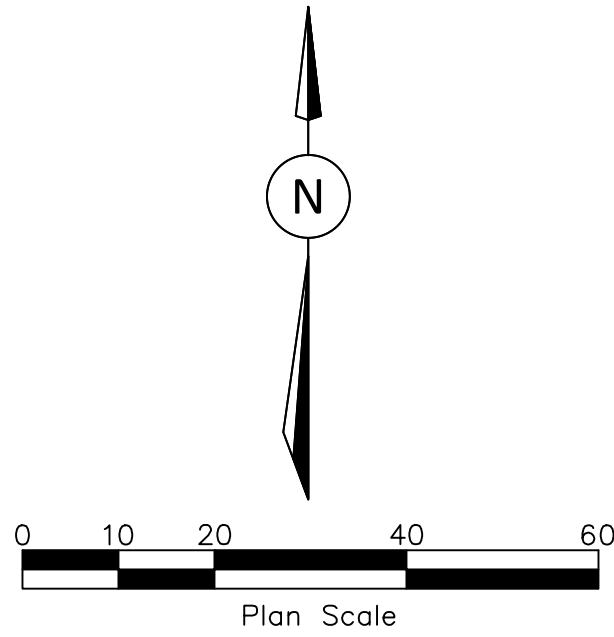
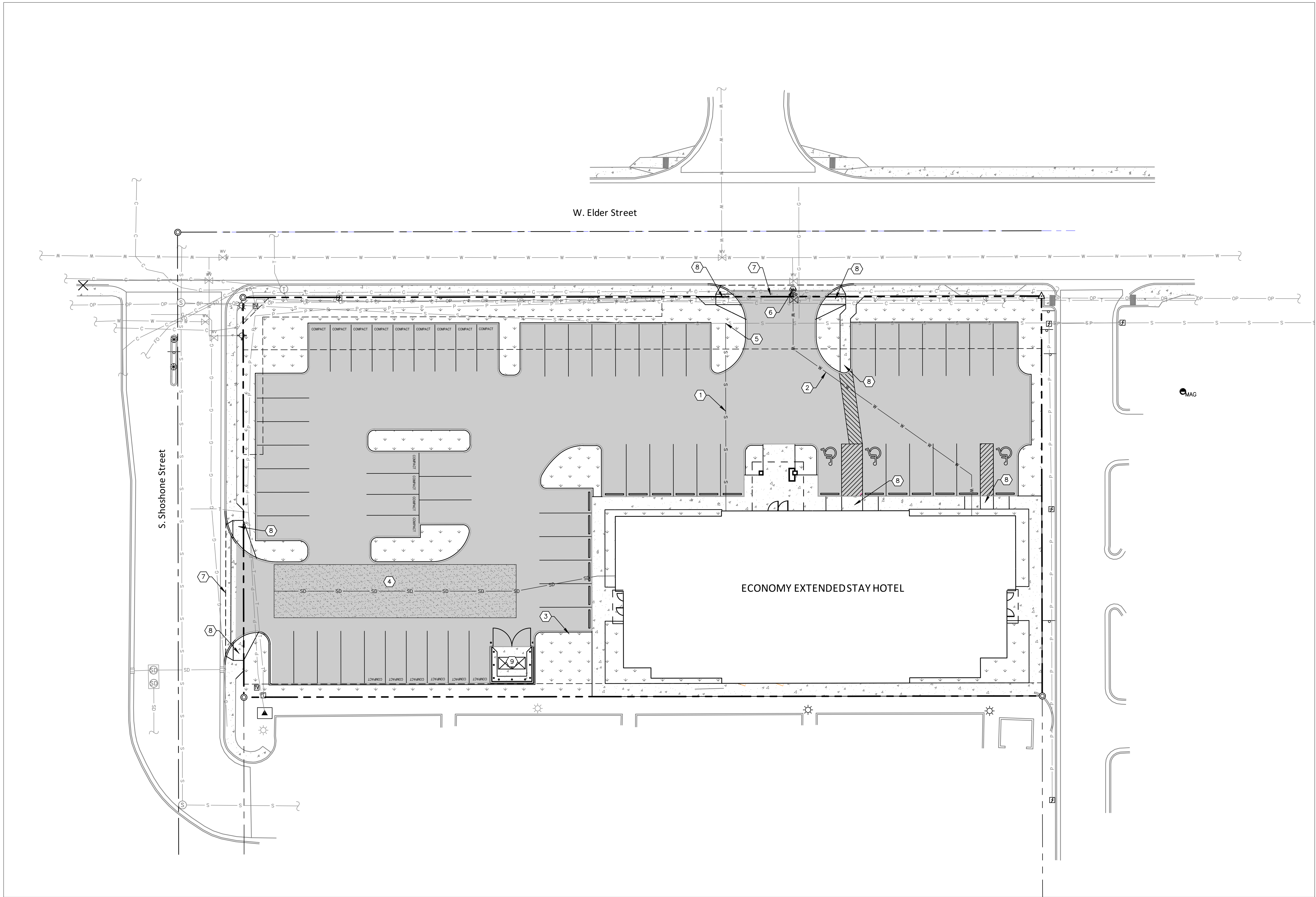
A010

SHEET #

PROJECT #18-138.01
DRAWN BY: Author
CHECKED BY: Checker

DESIGN DEVELOPMENT

P:\18-080\00\EXHIBITS\DR SITE PLAN.DWG MIKE BULTMAN 7/9/2018.DWG TO PDF.PC3, ---



LEGEND	
---	BOUNDARY LINE
-S-S-S-	NEW SANITARY SEWER
-W-W-W-	NEW WATER SERVICE
-SD-SD-	NEW STORM SEWER
[Pattern]	SEEPAGE BED
[Pattern]	NEW ASPHALT
[Pattern]	NEW CONCRETE
[Pattern]	NEW LANDSCAPING

KEYNOTES	
1.	PROPOSED SEWER SERVICE
2.	PROPOSED WATER SERVICE
3.	PROPOSED STORM SEWER
4.	PROPOSED SEEPAGE BED LOCATION
5.	CONNECT TO EXISTING SEWER
6.	CONNECT TO EXISTING WATER
7.	NEW 4' WIDE VALLEY GUTTER
8.	NEW ADA RAMP
9.	TRASH ENCLOSURE

SHEET NOTES	
1.	SEE ARCHITECTURAL SITE PLAN FOR SITE FEATURES AND DIMENSIONS.

PLAN PREPARER	
MIKE BULTMAN, P.E. KM ENGINEERING 9233 WEST STATE STREET BOISE, IDAHO 83714 (208) 639-6939 (208) 639-6930	

REVISIONS	
NO.	DATE

ECONOMY EXTENDEDSTAY HOTEL
SE OF W ELDER ST. AND S SHOSHONE ST.
DR ENGINEERING SITE PLAN

DRAWING STATUS:
PRELIMINARY NOT
FOR CONSTRUCTION

km

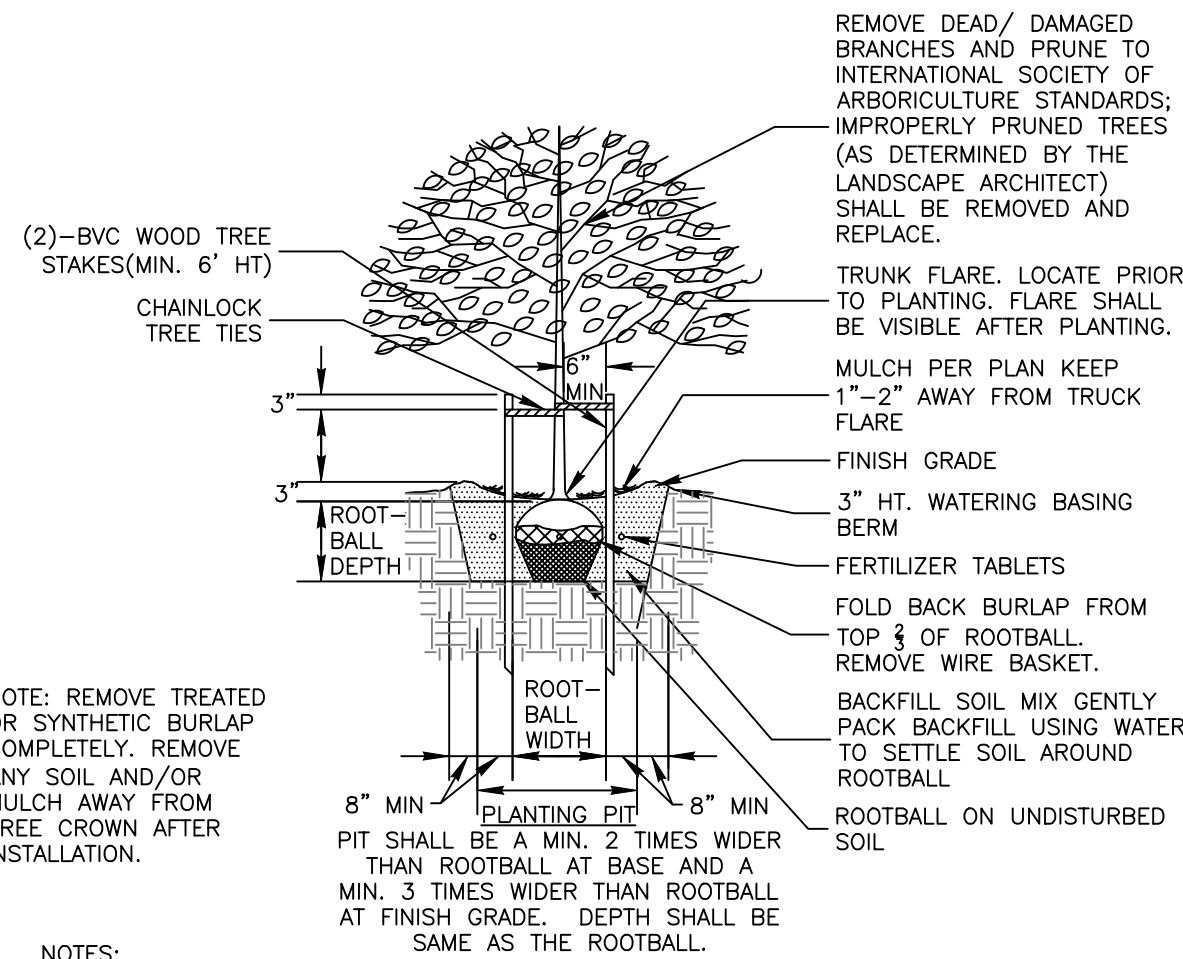
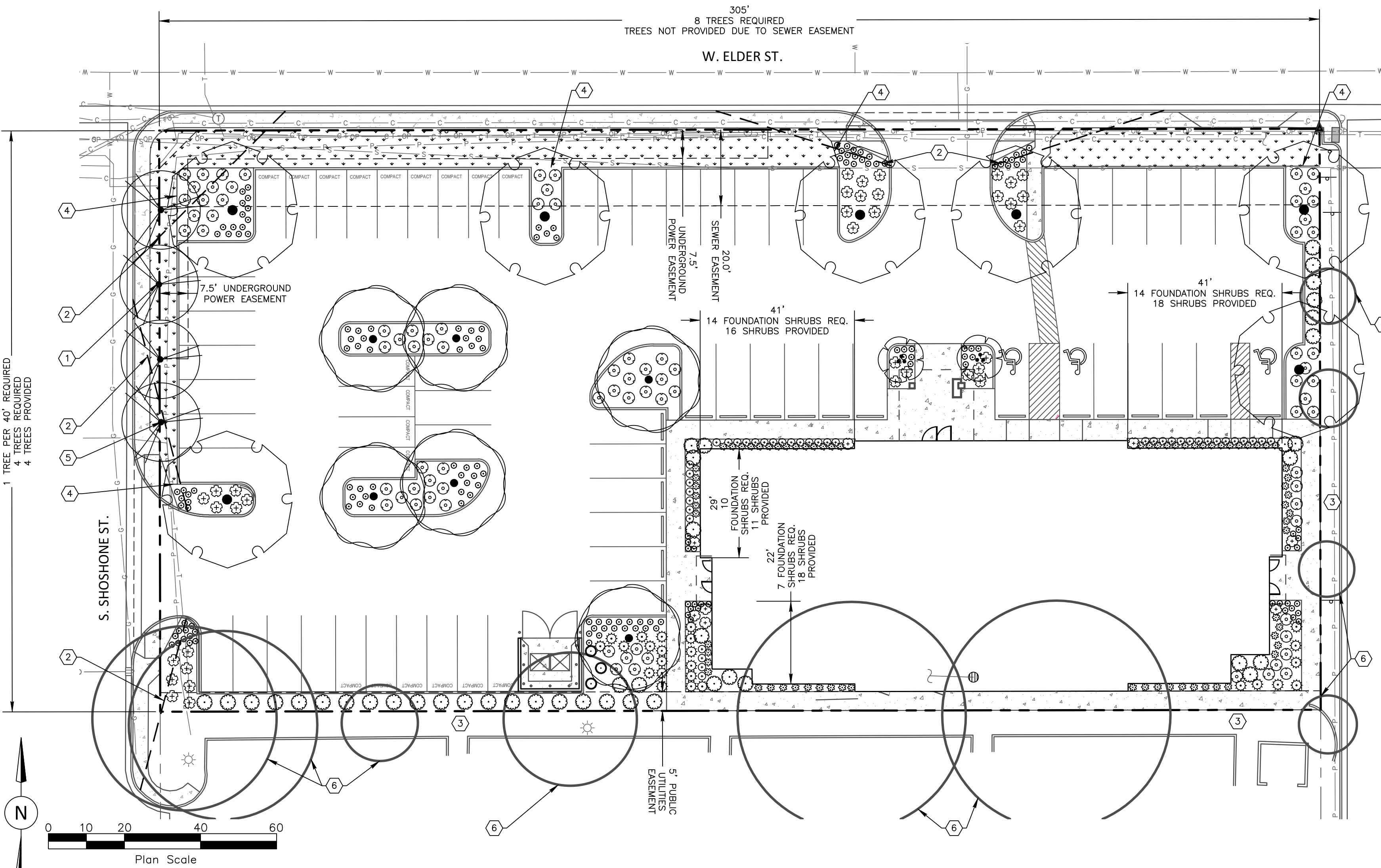
ENGINEERING

ENGINEERS · SURVEYORS · PLANNERS

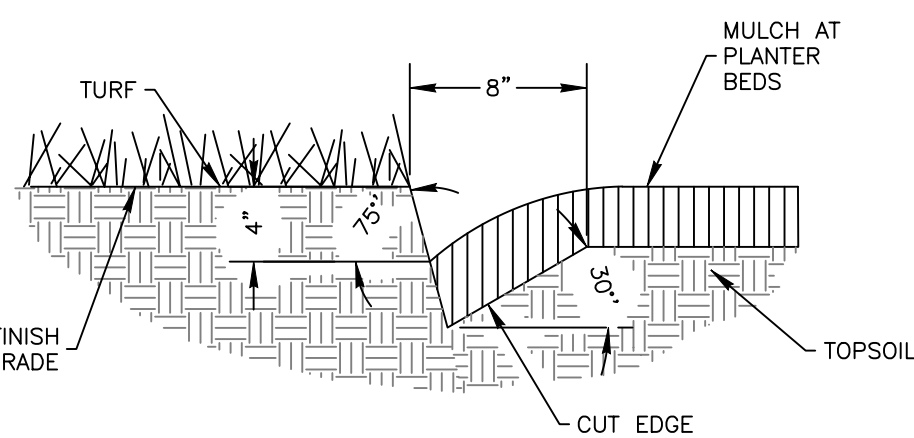
9233 WEST STATE STREET
BOISE, IDAHO 83714
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DESIGN BY:	MGB
DRAWN BY:	MGB
CHECKED BY:	
DATE:	07/09/18
PROJECT:	18-080
SHEET NO.	

P:\18-080\LANDSCAPE\DWG\18-080 LANDSCAPE PLAN.DWG, ALYSA TENSEN, 7/9/2018.DWG TO PDF.PC3, ...



1 DECIDUOUS TREE PLANTING AND STAKING DETAIL
NTS



2 SHOVEL CUT
NTS

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	SIZE	MATURE_HXW	CLASS
	4	ACER TRUNCATUM 'NORWEGIAN SUNSET' MAPLE	2" CAL. B&B	35'X25'	CLASS II
	6	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEY LOCUST	2" CAL. B&B	35'X30'	CLASS II
	7	LIQUIDAMBAR STYRACIFLUA 'MORAINÉ' MORAINÉ SWEET GUM	2" CAL. B&B	55'X45'	CLASS II
	2	PYRUS CALLERYANA 'CAPITAL' CAPITAL CALLERY PEAR	2" CAL. B&B	35'X15'	CLASS I
SHRUBS	QTY	BOTANICAL NAME	SIZE	MATURE_HXW	
	84	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' BLUE MIST SHRUB	5 GAL.	3'X3'	
	3	JUNIPERUS SCOPULORUM 'BLUE ARROW' BLUE ARROW JUNIPER	6"-8" B&B	12'X3'	
	25	PINUS MUGO 'MOPS' MUGO PINE	5 GAL.	3'X3'	
	8	RHAMNUS FRANGULA 'FINE LINE' FINE LINE BUCHTHORN	10 GAL.	6'X3'	
	36	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	5 GAL.	3'X3'	
	48	SPIRAEA BETULIFOLIA 'TOR' BIRCHLEAF SPIREA	3 GAL.	2'X2'	
	42	SPIRAEA NIPPONICA 'SNOWMOUND' SNOWMOUND SPIREA	5 GAL.	4'X4'	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	SIZE	MATURE_HXW	
	155	HEMEROCALLIS X 'STELLA DE ORO' STELLA DE ORO DAYLILY	1 GAL.	1'X2'	
GRASSES	QTY	BOTANICAL NAME	SIZE	MATURE_HXW	
	71	PANICUM VIRGATUM 'HEAVY METAL' BLUE SWITCH GRASS	1 GAL.	4'X2'	
GROUND COVERS	QTY	BOTANICAL NAME	QONT		
	3,130 SF	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE	SOD		

GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1585. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
- ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC MULCH, SUCH AS BARK, SOIL AID, PERMABARK, OR SIMILAR PRODUCTS. USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IF ROCK MULCH IS USED, INSTALL A PERMEABLE FABRIC WEED BARRIER UNDER ROCK MULCH. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.

ACHD LANDSCAPE NOTES

- TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.

GENERAL IRRIGATION NOTES

- ALL PLANT MATERIALS TO BE WATERED BY THE DEVELOPMENT PRESSURIZED IRRIGATION SYSTEM.
- COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.

TREE PROTECTION NOTES

- THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE CRITICAL ROOT ZONE OF ALL TREES AT ALL TIMES THROUGHOUT PROJECT.
- PRIOR TO COMMENCING WORK, TEMPORARY FENCING SHALL BE INSTALLED IMMEDIATELY AROUND EACH TREE IMPACTED BY DEMOLITION OR CONSTRUCTION. FENCING SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE ENTIRE DEMOLITION AND CONSTRUCTION PROCESS.
- BULK MATERIAL, EQUIPMENT, VEHICLES, AND CONSTRUCTION DEBRIS AND WASTE SHALL NOT BE STOCKPILED WITHIN THE CRITICAL ROOT ZONE.
- COMPACTION BY EQUIPMENT TRAFFIC IS PROHIBITED WITHIN THE CRITICAL ROOT ZONE.
- MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE. APPLY A MIN. 1.5" OF WATER OVER THE CRITICAL ROOT ZONE PER WEEK. THIS IS A MIN. RECOMMENDATION. CONTRACTOR IS RESPONSIBLE TO DETERMINE IF MORE WATER IS NECESSARY DURING CONSTRUCTION.
- ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL PERFORM REMEDIAL WORK TO DAMAGED TREES AT THE CONTRACTOR'S EXPENSE.

KEY NOTES (#)

- INSTALL 3" TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
- 40' CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
- EXISTING LANDSCAPING AND IRRIGATION TO REMAIN. RETAIN AND PROTECT. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COARSE OF CONSTRUCTION.
- SHOVEL CUT EDGE. SEE DETAIL 3.
- TREES LOCATED IN CLEAR VISION TRIANGLE SHOULD BE PRUNED AT LEAST 8' IN HEIGHT FROM SIDEWALK AND 14' ABOVE ROADWAY.
- EXISTING OFF SITE TREES TO REMAIN. SEE TREE PROTECTION NOTES.

STATE OF IDAHO
KAYLA YENSEN
LA-16977
07/9/18
LANDSCAPE ARCHITECT

DATE
NO.

REVISIONS
ITEM

ECONOMY EXTENDED STAY HOTEL
SE OF W ELDER ST. AND S SHOSHONE ST.
LANDSCAPE PLAN

DRAWING STATUS:
PRELIMINARY NOT FOR CONSTRUCTION

km
ENGINEERING

ENGINEERS, SURVEYORS, PLANNERS
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BOISE, IDAHO 83714
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DESIGN BY: RH
DRAWN BY: RH
CHECKED BY: AY
DATE: 6/28/18
PROJECT: 18-080
SHEET NO.

L1.0

PRELIMINARY - NOT FOR CONSTRUCTION



ROOM TYPE MATRIX					
UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
DOUBLE QUEEN	8	10	10	10	38
DOUBLE QUEEN EXTENDED	1	6	6	6	19
DOUBLE QUEEN WIDE & EXT.	1	1	2	2	6
ADA DOUBLE QUEEN ROLL-IN					
ADA DOUBLE QUEEN TUB	1				1
		1	1	1	3
TOTAL	11	18	19	19	67

F.P. GENERAL NOTES

T SCALE DRAWINGS.

INTERIOR DIMENSIONS ARE TO GRID. FACE OF FOUNDATION WALL IS TO GRID.

INTERIOR FRAMED WALLS ARE LOCATED WITH EXTERIOR FACE OF WALL ALIGNED TO THE EXTERIOR FACE OF CONCRETE AND GRID LINE.

DOOR TO ENLARGED UNIT PLANS SHEETS FOR DETAILED NOTES ON DETAILS AND EQUIPMENT.

DOOR WALLS AND CEILINGS ARE TO BE PAINTED IN NO. 1 COLOR.

INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED IN NO. 1 COLOR.

DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" FROM THE EXTERIOR FACE OF OUTER MOST OF GYPSUM BOARD OR SHEATHING. THIS IS NOTED OTHERWISE.

INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING UNLESS OTHERWISE NOTED.

DOOR JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0" SHALL BE REINFORCED.

TOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.

PROTECTION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM E 814).

ALL WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.

MINIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERTOPS TO BE 44".

ALL KITCHEN COUNTERTOPS MUST BE 15" OFF FLOOR TO A MAXIMUM OF 42" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.

DOOR GRAB BAR BLOCKING AT ALL ADA UNITS.

DOOR TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS.

SLIPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND FLOORING IS DRIED IN.

ALL CORNER JOINTS (SINGLE PIECE) CORNER GUARDS AT ALL OUTSIDE

**THE
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P: 801.355.4868
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**LICENSED
ARCHITECT
#198327**

**JEFFREY A. BYERS
(STATE OF UTAH)**

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**BURGESS INVESTMENT
GROUP**

1125 NORTH HOVI HILLS DRIVE
CEDAR CITY, UTAH 84721

BOISE AIRPORT HOTEL
2909 ELDER STREET
BOISE, IDAHO 83705

[illegible]

DESIGN DEVELOPMENT

MAIN LEVEL FLOOR PLAN



ROOM TYPE MATRIX					
UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
DOUBLE QUEEN	8	10	10	10	38
DOUBLE QUEEN EXTENDED	1	6	6	6	19
DOUBLE QUEEN WIDE & EXT.	1	1	2	2	6
ADA DOUBLE QUEEN ROLL - IN					
ADA DOUBLE QUEEN TUB	1				1
		1	1	1	3
TOTAL	11	18	19	19	67

ADA	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
MOBILE	1	1	1	1	4
HEARING	2	2	2	1	7

- SHEET NOTES

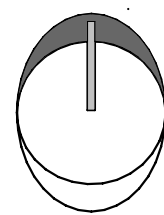


BOISE AIRPORT HOTEL
2909 ELDER STREET
BOISE, IDAHO 83705

[illegible]

A102

DESIGN DEVELOPMENT



SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"

12 13 14

A horizontal number line with four tick marks. The first three tick marks are labeled from left to right as $6 - 9 \frac{1}{8}$, $6 - 8 \frac{7}{8}$, and $6 - 11 \frac{1}{2}$. The fourth tick mark is unlabeled.

DOUBLE
QUEEN

Partial view of a structural drawing showing a wall section. Labels include GR-1, A, EQ, and C.

Technical drawing of a door assembly showing a cross-section. The door is labeled "303" and "REF." (Reference). The frame is labeled "GR-1". A dimension line indicates a distance of "2" from the door edge to the frame. A circular detail "D" is shown on the right side of the door.

**DOUBLE
QUEEN**

Diagram showing a cross-section of a wall with a vertical reinforcement bar (E) and a horizontal reinforcement bar (E) connected by a hook.

A

F

G


[illegible]

(12) (13) (14)

1. DO NOT SCALE DRAWINGS.
2. ALL EXTERIOR DIMENSIONS ARE TO GRID. FACE OF FOUNDATION WALL (U.N.O.).
3. ALL EXTERIOR FRAMED WALLS ARE LOCATED WITH EXTERIOR FACE OF SHEATHING ALIGNED TO THE EXTERIOR FACE OF CONCRETE AND GRID (U.N.O.).
4. REFER TO ENLARGED UNIT PLANS SHEETS FOR DETAILED NOTES ON FINISHES AND EQUIPMENT.
5. ALL GYP. BOARD WALLS AND CEILINGS ARE TO BE PAINTED U.N.O.
6. ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED.
7. ALL DOOR OPENINGS ARE LOCATED WITH THE INSIDE EDGE 4" FROM THE INSIDE FACE OF OUTER MOST OF GYPSUM BOARD OR SHEATHING. UNLESS NOTED OTHERWISE.
8. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING UNLESS OTHERWISE NOTED.
9. PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0".
10. FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
11. PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM E 814).
12. CABINET WORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
13. MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERTOPS TO BE 4". OTHER OUTLETS MUST BE A MINIMUM OF 18" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN A ACCESSIBLE ROOMS.
14. PROVIDE GRAB BAR BLOCKING AT ALL ADA UNITS.
15. REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS.
16. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND THE BUILDING IS DRY IN.
17. PROVIDE FULL HEIGHT (SINGLE PIECE) CORNER GUARDS AT ALL OUTSIDE CORNERS.

**THE
RICHARDSON
DESIGN
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**BURGESS INVESTMENT
GROUP**
1125 NORTH HOVI HILLS DRIVE
CEDAR CITY, UTAH 84721

BOISE AIRPORT HOTEL
2909 ELDER STREET
BOISE, IDAHO 83705

DATE	DESCRIPTION

PROJECT #: 18-138.01
DRAWN BY: Author
CHECKED BY: Checker

THIRD LEVEL
PLAN

A103



ROOM TYPE MATRIX					
UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
DOUBLE QUEEN	8	10	10	10	38
DOUBLE QUEEN EXTENDED	1	6	6	6	19
DOUBLE QUEEN WIDE & EXT.	1	1	2	2	6
ADA DOUBLE QUEEN ROLL-IN					
ADA DOUBLE QUEEN TUB	1				1
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- SHEET NOTES

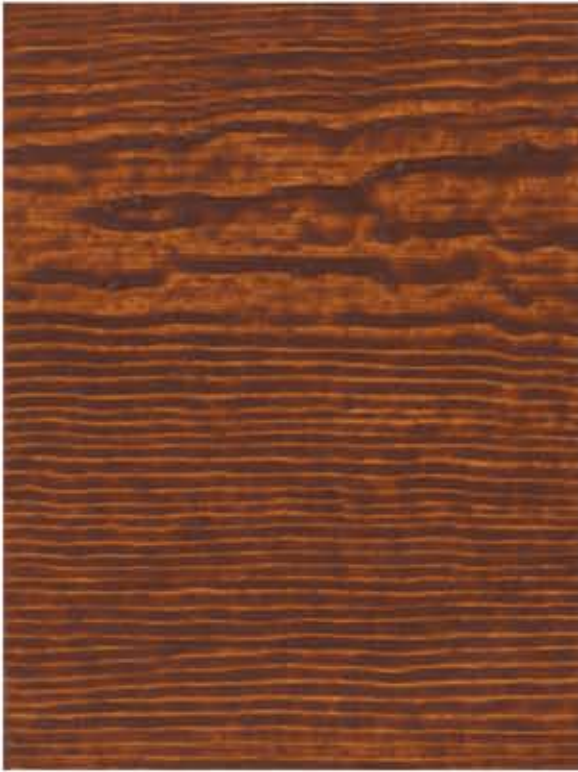
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FOURTH LEVEL
FLOOR PLAN

PROJECT
DRAWN
CHECKED

SHEET #

A104



FIBER CEMENT SIDING
OLD CHERRY BY WOODTONE



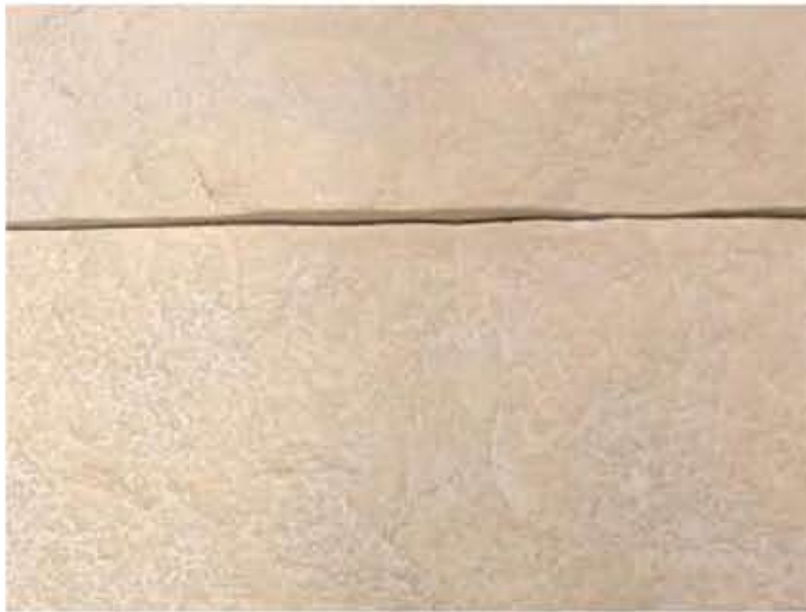
EIFS
SITE WHITE QUARTZ BY DRYVIT



EIFS
DOVETAIL SW7018 BY DRYVIT

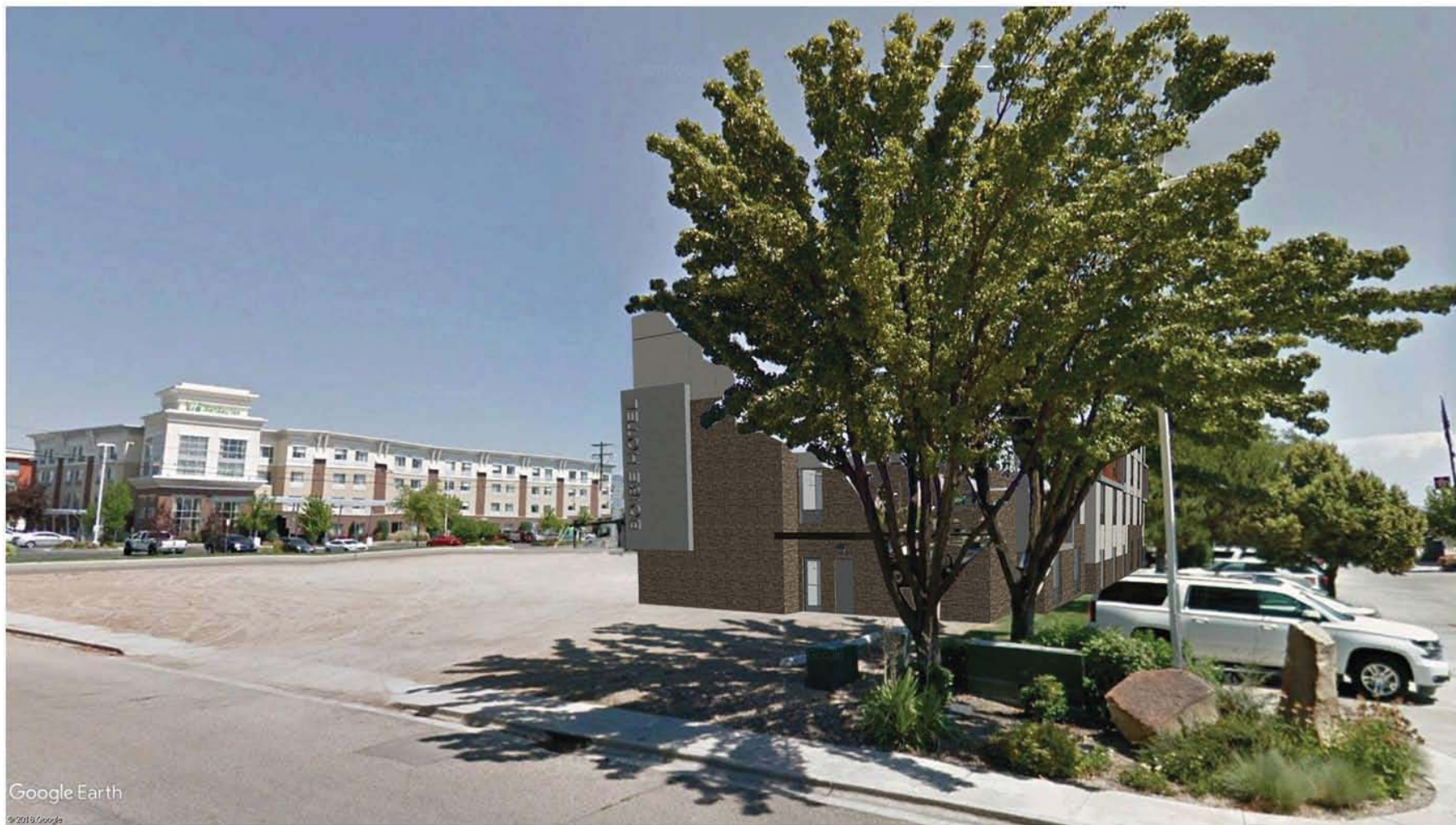


ANODIZED ALUMINUM (WINDOWS)
CHAMPAGNE BY FIRESTONE



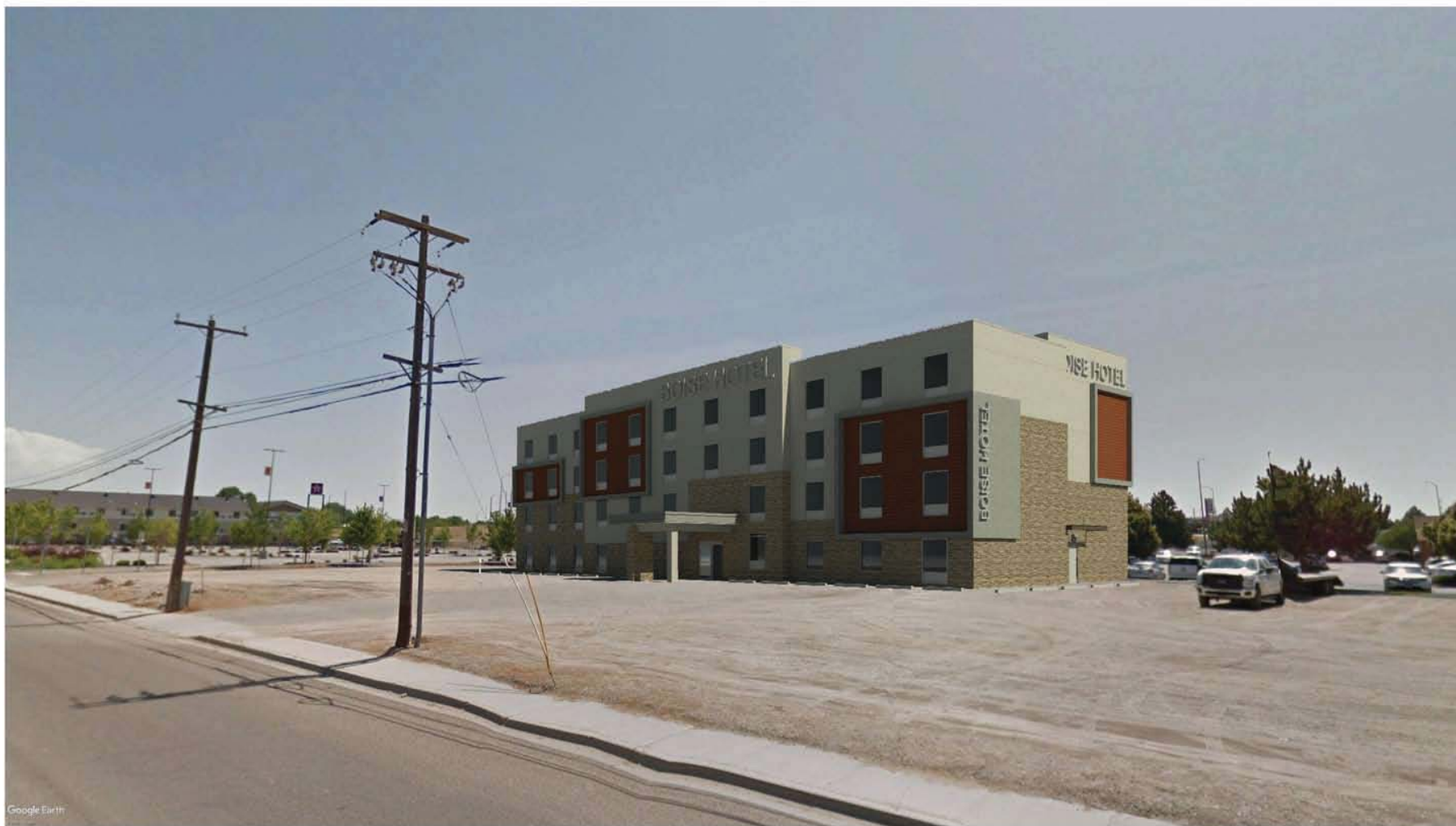
CUT COARSE STONE
OYSTER BY ELDORADO STONE





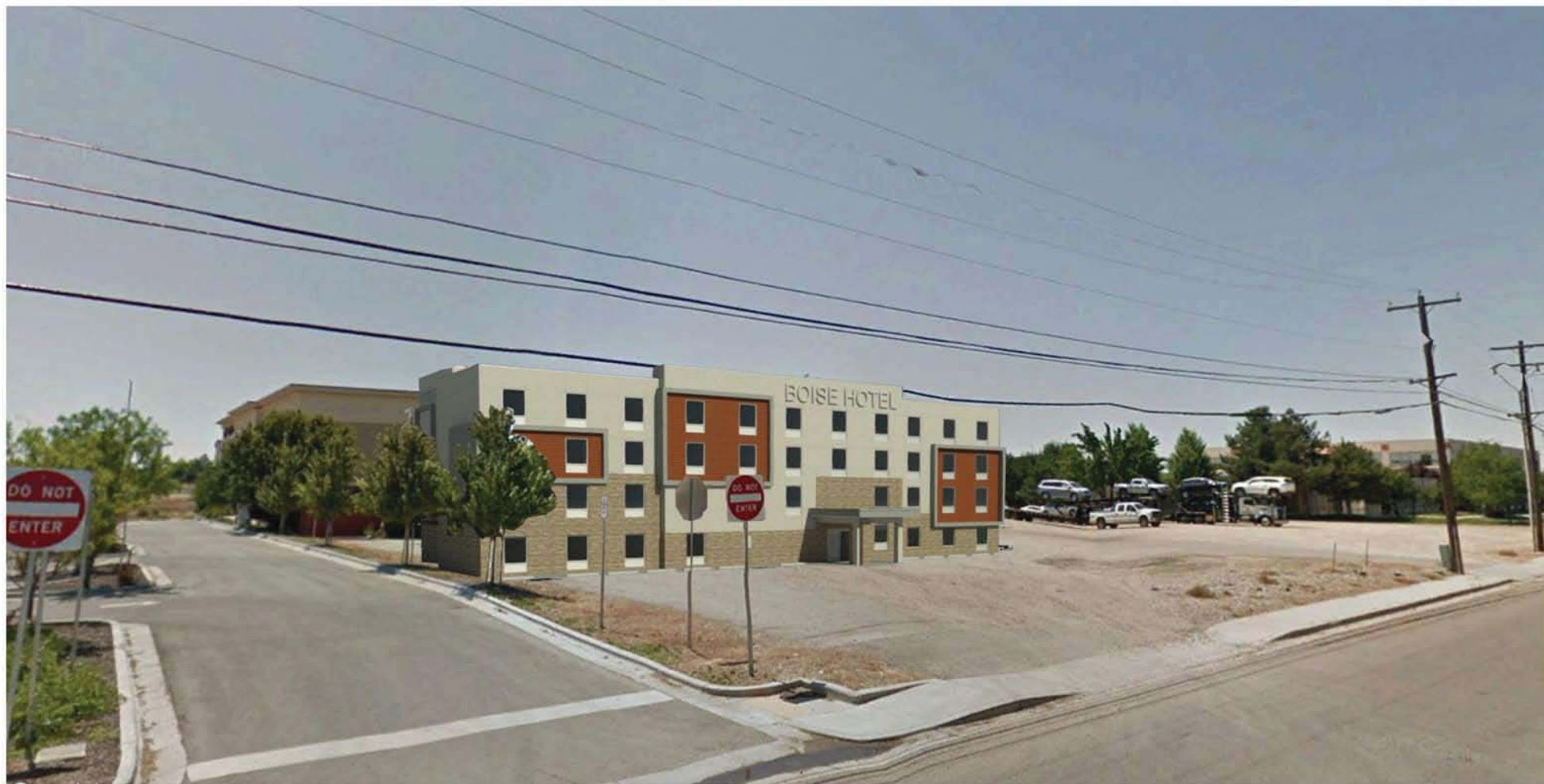
BOISE AIRPORT HOTEL, BOISE, IDAHO
CONTEXT DRAWINGS





BOISE AIRPORT HOTEL, BOISE, IDAHO
CONTEXT DRAWINGS





BOISE AIRPORT HOTEL, BOISE, IDAHO
CONTEXT DRAWINGS





Planning & Development Services

Boise City Hall, 2nd Floor
150 N Capitol Boulevard
P.O. Box 500
Boise, Idaho 83701-0500

Phone: 208/608-7100
Fax: 208/384-3867
TDD/TTY: 800/377-3529
Website: www.cityofboise.org/pds

Affidavit of Legal Interest

State of Idaho)

) ss

County of Ada)

I, Jeff Burgess
Name
Cedar City
City

1125 N. Hovi Hills Dr.
Address
UT
State

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my permission to David Jeffs 1125 N. Hovi Hills Dr. Cedar City
Name Address
to submit the accompanying application pertaining to that property. UT

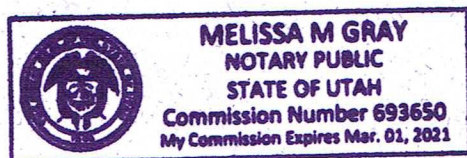
B. I agree to indemnify, defend and hold Boise City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

Dated this 9th day of July, 2018

Signature

Jeff Burgess

Subscribed and sworn to before me the day and year first above written.



Melissa Gray
Notary Public for Idaho Utah

Residing at: Cedar City, UT

My commission expires: 3/1/21



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION GENERAL NOTES	
1.	REFER TO DOOR AND WINDOW SCHEDULES FOR MORE INFORMATION.
2.	ALL ROOF DRAINS SHALL CONNECT DIRECTLY TO STORM SEWER
3.	CUSTOM COLORS ARE SELECTED. SUBMIT COLOR SAMPLES OF ALL PRODUCTS TO ARCHITECT PRIOR TO INSTALLATION.

EXTERIOR FINISH KEY	
ES1	E.I.F.S. - SITE WHITE QUARTZ (SW7070) BY DRYVIT
ES2	E.I.F.S. - DOVETAIL (SW7018) BY DRYVIT
ST1	CUT COARSE STONE - OYSTER BY ELDERADO STONE
MT1	PRE-FINISHED METAL FLASHING, SOFFIT, FASCIA, AND TRIM COLOR TO MATCH - ANODIZED ALUMINUM, CHAMPAGNE BY FIRESTONE
HB1	FIBER CEMENT SIDING - OLD CHERRY BY WOODTONE

MATERIAL PERCENTAGES	
NORTH ELEVATION 6619 SF	
STONE	1,639 SF 25%
GLASS	1,156 SF 17 %
PTACS	259 SF 4%
EIFS	2,511 SF 38%
HARDIEBOARD	1,054 SF 16%

MATERIAL PERCENTAGES	
SOUTH ELEVATION 6612 SF	
STONE	1,100 SF 17%
GLASS	949 SF 15%
PTACS	231 SF 3%
EIFS	3,633 SF 55%
HARDIEBOARD	699 SF 10%



THE
RICHARDSON
DESIGN
PARTNERSHIP,
L.L.C.
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P: 801.355.6666
F: 801.355.6880



JEFFREY N. BYERS
[DATE OF BIRTH]

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CONSULTANT:

BURGESS INVESTMENT
GROUP

1125 NORTH HOVI HILLS DRIVE
CEDAR CITY, UTAH 84721

OWNER:

PROJECT:

BOISE AIRPORT HOTEL

2909 ELDER STREET
BOISE, IDAHO 83705

DATE	DESCRIPTION

COLORED
ELEVATIONS

A203

PROJECT # 18-001
DRAWN BY: JBY
CHECKED BY: CHUCKER

SHEET #

DESIGN DEVELOPMENT



2 PERSPECTIVE
SCALE:



1 PERSPECTIVE
SCALE:



3 PERSPECTIVE
SCALE:



THE
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AR 185071
JEFFREY N. BYERS
STATE OF IDAHO

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CEDAR CITY, UTAH 84721

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2909 ELDER STREET
BOISE, IDAHO 83705

PROJECT:

DATE	DESCRIPTION

PERSPECTIVE

PROJECT #18-001
DRAWN BY: JBY
CHECKED BY: CBY

SHEET #

A900

DESIGN DEVELOPMENT



PLANNING AND DEVELOPMENT SERVICES

MAYOR: David H. Bieter | DIRECTOR: Derick O'Neill

Planning Division Project Report

6

File Number	DRH18-00305
Applicant	The Richardson Design Partnership / Peter Jacobsen
Property Address	2909 West Elder Street
Public Hearing Date	July 24, 2018
Heard by	Design Review Committee
Design Review Planner	Andrea N. Tuning
Design Review Supervisor	Hal Simmons

Public Notification

Newspaper notification published on:	July 24, 2018
Radius notices mailed to properties within 300 feet on:	July 24, 2018
Staff posted notice on site on:	July 17, 2018

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Exhibits

Agency Comments

1. Project Data and Facts

Applicant	The Richardson Design Group – Peter Jacobsen
Representative	Joe Burges Construction – Dave Jeffs
Architect	The Richardson Design Group – Jeff Byers
Owner	Burges Investment Group – Jim Burges
Location of Property	2909 West Elder Street
Present Zoning and Land Use	C-2D (General Commercial with Design Review overlay) zone
Description of Applicant's Request	Construction of a 37-664-square foot, 4-story hotel

2. Land Use

Description and Character of Surrounding Area
The project site is located on the south side of Elder Street just east of Shoshone Street. The area surrounding the site is primarily commercial and professional office uses. There is a four story hotel across Elder Street and to the east is a surface parking lot. To the west is a 9.532-acre site with a single story and a three story professional office building. To the south of the site are two hotel buildings that are each three stories in height.

Adjacent Land Uses and Zoning	
North:	Four story hotel / L-OD (Limited Office with Design Review)
South:	Three story hotels /C-2D (General Commercial with Design Review)
East:	Surface parking lot / C-2D (General Commercial with Design Review)
West:	One and three story office building / L-OD (Limited Office with Design Review)

Site Characteristics

The site is vacant, relatively flat and void of vegetation. There are overhead power lines that exist on the south side Elder Street abutting the site. The applicant will want to coordinate with Cory Bolander at Idaho Power (208-388-2768) to ensure the building separation from the powerline is appropriate. The City will require the applicant submit written documentation from Idaho Power approving the design prior to the City issuing any building permits.

Special Considerations

The site is located near the Boise Airport and is located within Airport Influence Area A which is affected by average sound levels of 60-65 DNL and has aircraft traffic patterns below 1,000-feet. The parcel has a land use designation of "Commercial" within the Boise City Comprehensive Plan and is not designated within the Boise City Design Review Standards and Guidelines. The site is located within the Central Bench Planning Area.

3. Project Proposal

Site Design

Land Use	Percentage
Percentage of the site devoted to building coverage:	20%
Percentage of the site devoted to paving:	62.5%
Percentage of the site devoted to landscaping:	17.5%
TOTAL	100%

Parking

Proposed		Required	
Accessible spaces proposed:	3	Accessible spaces required:	3
Total parking spaces proposed:	67	Total parking spaces required:	67-100
Number of compact spaces proposed:	21	Number of compact spaces allowed:	26
Bicycle parking spaces proposed:	0	Bicycle parking spaces required:	7
Parking reduction requested?	No	Shared Parking requested?	No

Setbacks Yard	Building		Parking	
	Required	Proposed	Required	Proposed
Elder Street – Front Yard	10'	81'	10'	10'
Shoshone Street – Street Side	10'	140'	10'	5'
East – Interior Side	0'	10'	5'	4'
South - Rear	0'	5'	5'	4'

Transportation

Roadway	Frontage	Functional Classification	Traffic Count	Level of Service	Acceptable Level of Service	LOS + Project
Elder Street	300-feet	Collector	5,013 west of Vista Avenue in March of 2017	C	C	C
Shoshone Street	155-feet	Local	Unavailable	C	C	C
Vista Avenue	None	Principal Arterial	22,627 south of Elder Street in January of 2015	C	C	C

Fencing



There is no existing fencing on the site. The applicant is not proposing any new fencing with this application.

Outdoor Lighting

The applicant has identified pole lighting throughout the site located within the setbacks and within planter islands. All light poles and fixtures shall be located outside of the required setbacks and landscape planters which contain trees as required by the landscape ordinance. The lighting shall also not spill onto the adjacent residential property to the east.

Structure(s) Design	
Number and Proposed Use of Buildings	One hotel
Proposed Building Height	45'
Maximum Building Height	45'
Number of Stories	Four-story
Square Footage	37,664-square feet

4. Zoning Ordinance and Comprehensive Plan

Zoning Ordinance Sections	
11-03-04.12 C (7)(d) (i)	Site Design – A - E
11-03-04.12 C (7)(d) (ii)	Structure Design – A - E
11-03-04.12 C (7)(d) (iii)	Adopted Plans and Design Guidelines
11-04-05	Commercial Districts
11-07-03	Off-Street Parking and Loading Guidelines

Comprehensive Plan Sections	
3-30	Commercial Land Use Category
3-29	Design Principles for Commercial/Employment
CB-1	Central Bench Planning Area

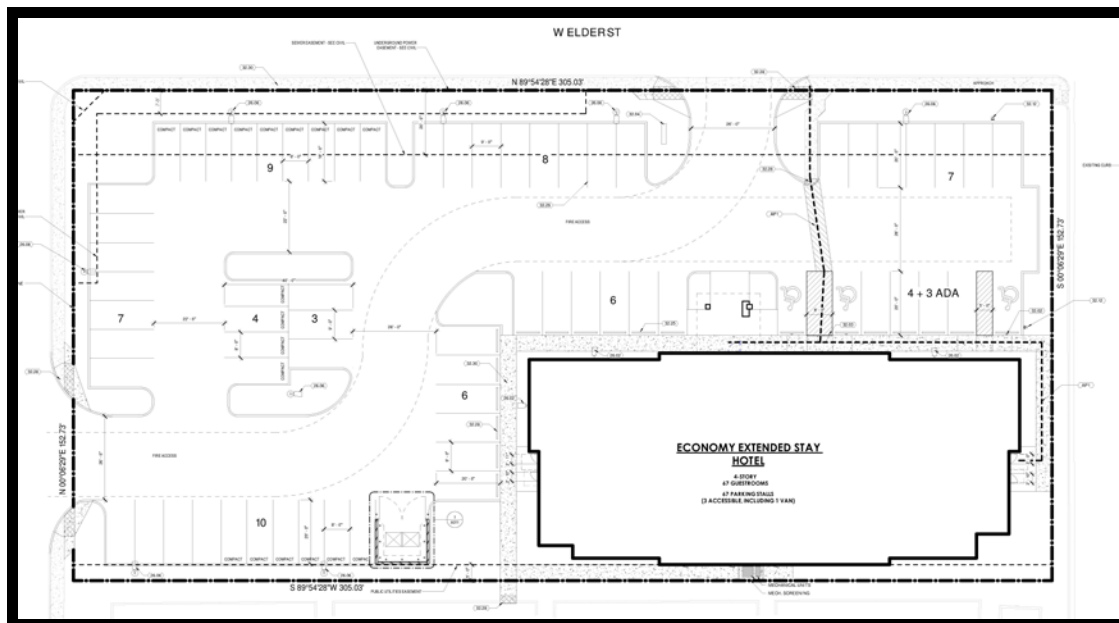
5. Analysis/Findings

Vehicular Circulation and Connections

Boise City Code Section 11-03-04.12.C.7.d states:

- A. *Traffic Impact: That traffic impact is minimized and the pedestrians and cyclists have been provided for through the use of sidewalks, pathways, landscaping, and safe parking lot design.*

The applicant is proposing to construct the four story hotel located in the southeast corner of the site with the parking and drive aisles surrounding the building. While Elder Street is not a designated roadway within the Boise Citywide Design Review Standards and Guidelines the City encourages all new buildings to be pedestrian oriented especially those located on collector and arterial roadways. As such, it is recommended for the building to be placed at the street with parking located to the side or the rear of the structure.



The submitted site plan does not meet the required setbacks of the C-2 zone. The applicant will be required to provide a 10-foot parking setback from the west property line and a 5-foot parking setback from the south and east property lines.

The applicant is required to provide between 67 and 100 parking spaces to fall within the parking minimum and maximum established by the current zoning ordinance. They are proposing 43 standard spaces, 21 compact spaces and 3 accessible spaces bringing the

parking total count to 67. The proposed parking count meets the current parking ordinance and will support the proposed hotel use.

Elder Street is currently improved with 3-traffic lanes with vertical curb, gutter and an attached concrete sidewalk abutting the site. Shoshone Street is currently improved with vertical curb, gutter and an attached concrete sidewalk abutting the site. Elder Street is classified as a collector roadway. To comply with collector roadway standards, the applicant should remove the existing 5-foot wide attached concrete sidewalk on Elder Street and install a new 5-foot wide concrete sidewalk that is separated from the curb line a minimum of 8-feet to accommodate street trees or a 7-foot wide attached concrete sidewalk abutting the site. This requirement is consistent with Boise City Council wishes to obtain detached sidewalks, the Boise City Transportation Action Plan, the Boise Citywide Design Review Standards and Guidelines, ACHD policy as well as a recommendation from the Boise City Transportation Planning staff.

The applicant is proposing to construct one driveway that intersects Elder Street and one driveway that intersects Shoshone Street. With the relocation of the building to interface with Elder Street, the driveway locations may be required to be modified. As presented, the driveways and drive aisles will provide a vehicular and pedestrian network that is safe, convenient, efficient, enhances the character of the area and integrates multi-modal transportation (3.3).

The ordinance requires 1 bicycle parking space for every 10 vehicle spaces required. As such, the applicant will be required to provide 7 bicycle parking spaces on the site conveniently located and visible to individuals utilizing alternative modes of transportation. The applicant has not provided any bicycle parking spaces. With the minor modifications required, the number, dimension and location of bicycle and parking spaces proposed with this application comply with ordinance standards (3.3 and 11-07-03).

Non-Motorized Circulation and Connections

The site will provide a public sidewalk on Elder Street and Shoshone Street. The on-site pedestrian network will build upon this pedestrian framework and by constructing a sidewalk around the perimeter of the building as well as a sidewalk connection from Elder Street to the main entrance of the building (3.2). The applicant is also proposing a 5-foot wide pedestrian connection that connects to the parcel to the south. The City of Boise encourages connectivity for all modes of transportation but will require an easement from the property owner to the south allowing the pedestrian connection to be constructed on their property.

Traffic Impact Summary

With the required Conditions of Approval this development provides an existing attached concrete public sidewalk and street trees, as well as a safe pedestrian and cycling network.



Based on the preceding analysis and the attached conditions of approval, the project will comply with Boise City Code Section 11-03-04.12.C.7.d to minimize the traffic impact.

Service Area Location and Design

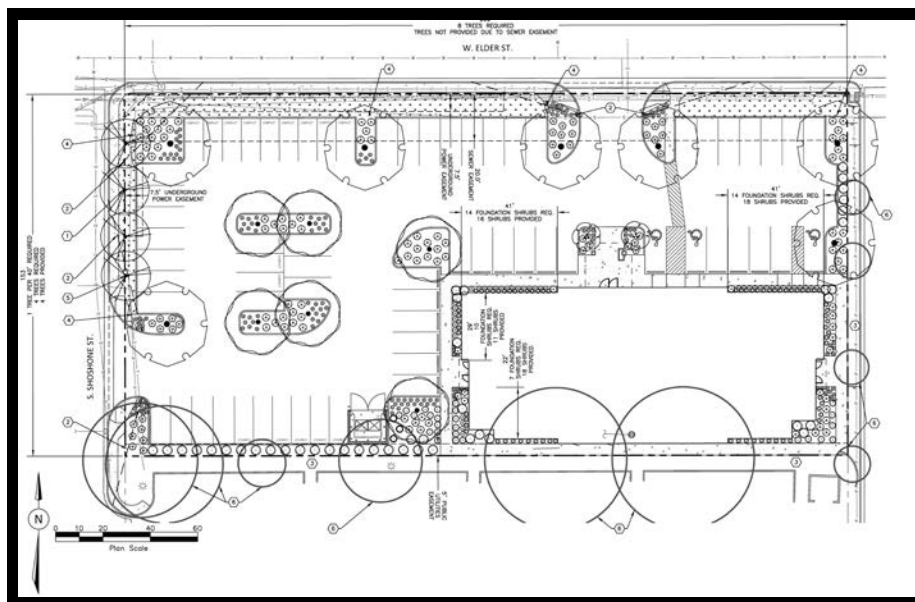
Boise City Code Section 11-03-04.12.C.7.d states:

- A. Landscaping, Stabilization, and Screening: That landscaping screens buffer adjacent uses, and screen or conceal unsightly areas.*

The applicant is proposing to utilize a 3-yard trash receptacle located near the southwest corner of the building. The enclosure surrounding this receptacle consists of 6-foot tall CMU walls that will be painted to match the building. The enclosure is proposed to be further screened by landscaping on the south and east sides to soften the appearance.

The two mechanical units proposed to service the site are located at grade on the south side of the building. The site plan identifies it being screened utilizing mechanical screening however, the screening method is not identified. The applicant will be required to provide full height screening for the mechanical units located on the site side of the building. The proposed screening method shall be reviewed and approved by the Design Review Division prior to issuance of a building permit.

Landscape Design



The submitted landscape plan includes a significant amount of turf grass with trees, shrubs and grasses along Elder Street and Shoshone Street, within the planter islands throughout the parking area and adjacent to the building.

Section 11-07-05.D.1.C requires one Class II or Class III street tree be provided for each 40-linear feet of street frontage. The applicant is not proposing to install any street trees along Elder Street due to the fact there is a sewer easement that runs along Elder Street. Section 11-07-05.2.B.8 requires Class I street trees be provided when overhead utilities are present. It also states if an underground easement precludes the planting of trees, the landscape buffer will be required to be increased to accommodate the required trees. To comply with the current landscape ordinance, the applicant will be required to install 8 Class I trees along Elder Street. The landscape buffer on Elder Street will be required to be increased to accommodate the required trees. The street trees on Elder Street and Shoshone Street shall be spaced no closer than 80% of the average mature width of the trees.

(5) Tree Spacing

For design flexibility, trees may be grouped together or spaced evenly as desired. However, trees shall be spaced no closer than 80 percent of the average mature width of the trees, as demonstrated in the following examples:

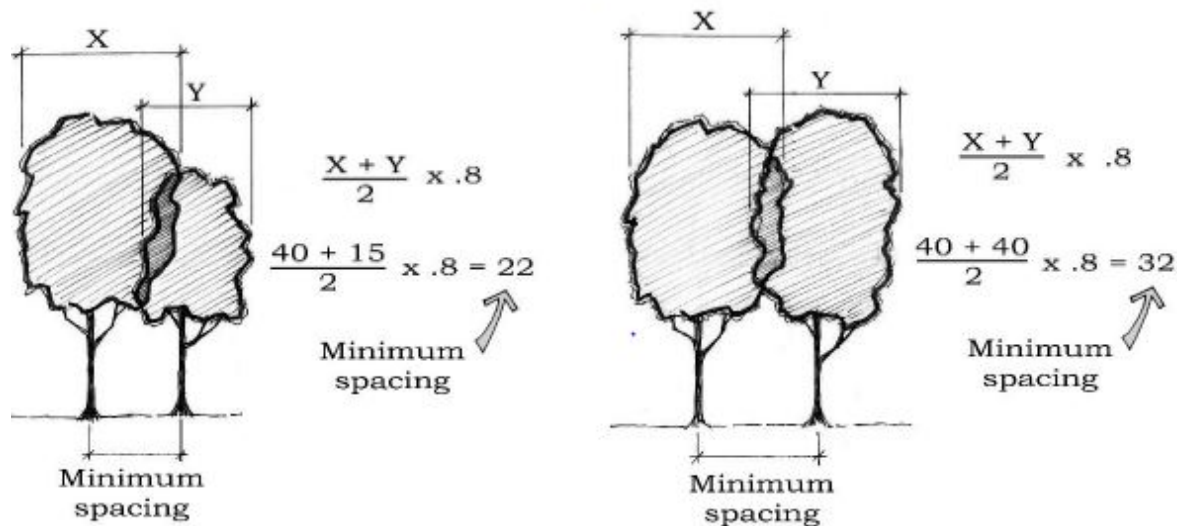


Figure 11-07.7: Tree spacing

Section 11-07-05.2E requires planter islands to be placed every 10 spaces and at the terminus of all parking rows. The landscape planters are required to be a minimum of 8-feet in width (measured inside of curb to inside of curb) and run the entire length of the parking stall. Each planter is required to contain at least one Class II tree and shall be covered with low shrubs or other vegetative groundcover. The parking row located on the

north side of the building exceeds 10 spaces. As such, the applicant will be required to install an additional interior planter island to be a minimum of 8-feet in width (measured inside of curb to inside of curb) and run the entire length of the parking stall to break up the long row of parking. Also, the double terminal planter located in the northwest corner of the site should contain two trees. This will provide one Class II tree for each row of parking.

Landscaping, Stabilization and Screening Summary

Plant materials have been appropriately selected and located in the areas around the parking lot and walkways to prevent conflict with pedestrians. The proposed landscaping will provide a mixture of species that will provide year round color, will soften the overall appearance of the site and will provide continuity with the landscaping within the general area. Based on the preceding analysis and the suggested conditions of approval, the landscape and screening methods for the utility locations and mechanical units will be screened to conceal them from public view and will comply with Boise City Code Section 11-03-04.12.C.7.d and 3.7 and 3.8 of the Boise Design Review Guidelines.

Grading and Drainage

Boise City Code Section 11-03-04.12.C.7.d states:

- A. *That on-site grading and drainage have been designed so as to minimize off-site impact and provide for erosion control.*

The grading and drainage will be reviewed by Boise City Public Works at the time of building permit along with the Ada County Highway District to ensure all drainage is contained on site and street sections meet all agency requirements.

Signage

Boise City Code Section 11-03-04.12.C.7.d states:

- A. *Signage: That signs provide for business identification minimizes clutter and comply with the sign regulations.*

No signs are proposed for this development at this time. At the time the applicant considers building identification, they will be required to submit a separate sign application. The project must comply with all ordinance regulations in effect at the time the sign application is submitted.

Building Design and Materials

Building Location	Type/Color
Roof:	Single-Ply Membrane / White
Exterior Walls:	Hardi-Board / Orange EIFS / Grey Coarse Cut Stone / Multi-Color Tan

Fascia Trim and Caps:	Metal / Silver
Windows/ Doors:	Anodized Aluminum / Silver
Mechanical Equipment:	3 units located at grade with unknown screening



Building Materials

Boise City Code 11-03-04.12 C (7)(d) states:

Exterior materials that complement surrounding development in terms of color and relief should be utilized.

The applicant is proposing to construct a 37,664-square foot hotel. The building is proposed to be a four story structure constructed of EIFS, hardi-board and coarse cut stone walls. The building will be accented with aluminum storefront windows and door treatments. The structure will also utilize grey awnings. The materials selected are commonly utilized on hotels and other commercial structures. The natural colors and textures will also complement the area and surrounding development by incorporating natural colors and textures found on other buildings within the area.

While the material pallet is appropriate, the application of the stone on the building does not integrate well. It appears to not have a well thought out pattern that delineates the front entrance of the building, breaks up the massing and creates natural termination points. The applicant should utilize the stone in a well-designed pattern of application.

Building Massing and Articulation

Boise City Code 11-03-04.12 C (7)(d) states:

The height to width relationship should be compatible and consistent with the architecture in the area.

The application notes the four story hotel is 45-feet in height however the elevations show

the building extending beyond the 45-feet in height. The applicant will be required to reduce the height of the building and mechanical units to be 45-feet in height or obtain a height exception allowing the building to be constructed taller than what is allowed in the C-2 zone.

To break up the massing of the building and provide visual interest the applicant uses varied rooflines, wall plane modulation, material changes and a small canopy on the north facade. Each of these architectural treatments begins to break up the massing and proportions of the building. While there is an entrance to the building, it is very small in size and is not proportional to the overall size of the proposed building. It is recommended the applicant create the main entrance to the building to be a clearly defined and demarcated feature of the building that easily distinguishes the entrance (4.2.6).

With these elements, the building will integrate into the area in a manner that is appropriate and compatible with the surrounding heights and uses. The building is in scale with other structures within the immediate area and will not negatively impact the adjacent properties.

Shadow Relief and Architectural Details

Boise City Code 11-03-04.12 C (7)(d) states:

Openings in the facade shall be consistent with the architecture in the area. (For example, balconies, bays, and porches are encouraged with a minimum of monotonous flat planes to provide shadow relief).

In an effort to provide shadow relief, the applicant has included a few architectural elements. For instance, there is modulation of the wall planes, openings within each elevation, varied rooflines and weather protection over the main entrance. The Design Review Standards and Guidelines require buildings to employ techniques to recess or project individual windows above the ground floor at least two inches from the façade or incorporate window trim at least four inches in width that features color that contrasts with the base building color (4.3.2). The applicant has not proposed to project or incorporate trim around the proposed windows. As such, the applicant will be required to recess the upper story windows a minimum of two inches from the façade. Cut sheets identifying this depth will be required prior to issuance of a building permit.

Building Design Summary

The four story design will contain appropriate colors and materials, fenestration, and modulation. Each of these elements will break up the massing of the structures, provide an additional depth of character through shading and relief and provide architectural design interest to the buildings. The new building will integrate well with the other buildings and uses present on this segment of Elder Street within the airport vicinity. Based on the preceding

analysis and the suggested conditions of approval, the building design will comply with Boise City Code Section 11-03-04.12.C.7.d.

6. Conclusion and Recommended Conditions

Staff finds the project complies with Sections 11-03-04.12 C (7)(d) of the Zoning Ordinance, the Design Review Guidelines and the goals and policies of the Boise City Comprehensive Plan and would recommend **approval** subject to the following conditions.

Site Specific Conditions

1. Compliance with the plans and specifications submitted to and on file in the Planning and Development Services Department dated received June 9, 2018, except as expressly modified by the following conditions:
 - a. The site plan and landscape plan shall match one another.
 - b. Provide a 10-foot parking setback from the west property line.
 - c. Provide a 5-foot parking setback from the south property line.
 - d. Provide a 5-foot parking setback from the east property line.
 - e. Remove the existing 5-foot wide attached concrete sidewalk on Elder Street and install a new 5-foot wide concrete sidewalk that is separated from the curb line a minimum of 8-feet or an attached 7-foot concrete sidewalk.
 - f. Provide between 67 and 100 parking spaces. This will require the appropriate amount of accessible spaces being provided on site.
 - g. Provide a minimum of 7 bicycle parking spaces on the site. The applicant will be required to design the spaces to be within 50-feet of the main entrance, a minimum of 6 feet long and 2.5 feet wide and have an overhead clearance of 7-feet if covered. A 4-foot wide aisle is required between rows of bicycle parking or nearby walls. Stationary racks shall be located on improved non-permeable surfaces and anchored to the ground.
 - h. Provide an easement from the property owner to the south allowing the 5-foot wide pedestrian connection to connect the two properties.
 - i. Install 8 Class I trees along Elder Street. The landscape buffer on Elder Street will be required to be increased to accommodate the required trees.
 - j. The street trees on Elder Street and Shoshone Street shall be spaced no closer than 80% of the average mature width of the trees.
 - k. Install an additional interior planter island within the parking row adjacent to the building. The planter islands shall be a minimum of 8-feet in width (measured inside of curb to inside of curb) and run the entire length of the parking stall to break up the long row of parking.
 - l. Install a second tree within the "double terminal planter" located in the northwest corner of the site.

- m. Reduce the height of the building and mechanical units to be 45-feet in height or obtain a height exception allowing the building to be constructed taller than what is allowed in the C-2 zone.
- n. Apply the stone material in a well-designed pattern on the building.
- o. Create the main entrance to the building to be a clearly defined and demarcated feature of the building that easily distinguishes the entrance.
- p. Recess the upper story windows a minimum of two inches from the façade. Cut sheets identifying this depth will be required prior to issuance of a building permit.
- q. Provide full height screening for the mechanical units located on the site side of the building. The proposed screening method shall be reviewed and approved by the Design Review Division prior to issuance of a building permit.
- r. All light poles and fixtures shall be located outside of the required setbacks and landscape planters which contain trees as required by the landscape ordinance. The lighting shall also not spill onto the adjacent residential property to the east.
- s. Coordinate with Idaho Power (208-388-2323) to ensure the building separation from the powerline is appropriate. Submit written documentation from Idaho Power approving the design prior to the City issuing any building permits.
- t. While it is not a requirement, it is recommended the application relocate the building to directly interface with Elder Street with the parking located to the side and/or rear of the property.

Revised plans indicating compliance with the above conditions shall be submitted to Planning Staff for approval prior to application for any construction permits.

Responsible Agencies and Other Boise City Departments

- 2. A Building Permit approval is contingent upon the determination that the site is in conformance with the Boise City Subdivision Ordinance. Contact the Planning and Development Services Subdivision Section at (208)608-7089 regarding questions pertaining to this condition.
- 3. The applicant shall comply with the requirements of the Boise City Public Works Department:
 - . Drainage (July 17, 2018)
 - . Sewers (July 16, 2018)
 - . Street Lights (July 17, 2018)
 - . Solid Waste (July 16, 2018)
 - . Pretreatment (July 16, 2018)



Please contact BCPW at (208)608-7150. All items required by BCPW shall be included on the plans/specifications that are submitted for a Building Permit. Please note that any changes or modifications by the owner to the approved Storm Water Plan must be resubmitted to BCPW for approval.

4. Prior to a Building Permit and prior to any construction on the site, an Erosion and Sediment Control Permit must be obtained from the Building Division of the Planning and Development Services Department.
5. A Building Permit is contingent upon approval from Boise City Community Forestry for tree planting within right-of-ways, per Title 9, Chapter 16, Section 09-16-05.2. Contact Boise City Community Forestry at (208)608-7700 with questions regarding this condition.
6. Compliance with the Boise City Assistant Building Official's comments dated July 17, 2018.
7. Compliance with the requirements of the Ada County Highway District (ACHD) comments.
8. Compliance with the requirements of the Boise City Fire Code.

Standard Conditions of Approval

9. All loading activities and site maintenance (with the exception of snow removal) are limited to Mondays through Fridays between the hours of 7:00 a.m. and 10:00 p.m. and Saturdays and Sundays between the hours of 8:00 a.m. and 8:00 p.m.
10. All landscaping areas shall be provided with an underground irrigation system. Landscaping shall be maintained according to current accepted industry standards to promote good plant health, and any dead or diseased plants shall be replaced. All landscape areas with shrubs shall have an approved mulch such as bark or soil aid.
11. All landscape trees shall be pruned in accordance with the American National Standards Institute's Standard Practices for Tree Care Operations (ANSI A300 - latest edition). No trees on the site shall be topped, headed back, rounded over or otherwise disfigured. Contact Boise City Community Forestry at (208)608-7700 for information regarding tree care operations.
12. An approved protective curbing shall enclose all landscape areas where they are adjacent to parking areas or driveways.
13. Swales/retention/detention areas shall not be located along the streets, unless it can be shown that landscaped berms/shrubs will screen the swales.



14. Vision Triangles as defined under Section 11-012-03 of the Boise City Code shall remain clear of sight obstructions.
15. In compliance with Boise City Code, anyone planting, pruning, removing or trenching/excavating near any tree(s) on ACHD or State right-of-ways must obtain a permit from Boise City Community Forestry at least one (1) week in advance of such work by calling (208)608-7700. Species shall be selected from the Boise City Tree Selection Guide.
16. Existing healthy trees shall be saved where not in conflict with building locations or required driveways as determined by the Boise City Forester and approved by the Design Review staff. Existing grading shall be altered as little as possible, with a minimum compaction of topsoil within the tree dripline area. Soil sterilants shall not be applied near the dripline of these trees. Pervious paving shall be provided within the dripline area, unless otherwise approved by the Boise City Forester and the Design Review staff, to allow surface air and water penetration to the feeder root zone of trees near paved areas.
17. Deciduous trees shall be not less than 2" to 2½" caliper size at the time of planting, evergreen trees 6' to 8' in height, and shrubs 1 to 5 gallons, as approved by the Design Review staff. All plants are to conform to the American Association of Nurseryman Standards in terms of size and quality.
18. All surface drainage shall be reviewed and approved by ACHD and BCPW. Perimeter grading shall be designed to match the existing grade of the adjoining properties.
19. All parking areas and driveways shall be paved and striped. All accessible spaces and approved compact spaces shall be clearly marked and signed as required. Bicycle parking, as required by Section 11-07-03.3.B of the Boise City Code, shall be provided.
20. All Americans with Disabilities Act (ADA) requirements shall be met. A total of 2 accessible space(s) shall be provided, which are to be located on the shortest accessible route of travel to the accessible building entry.
21. Any outside lighting shall be reflected away from adjacent property and streets. Exterior light fixture details shall be submitted to the Design Review staff for approval prior to issuance of a Building Permit. Impacts on residential areas shall not be permitted.
22. The illumination level of all light fixtures shall not exceed two (2) foot-candles as measured one (1) foot above the ground at property lines shared with residentially zoned or used parcels.
23. Boise City Fire Department requires water mains, fire hydrants and temporary Fire



Department access to be installed, inspected and approved by the Fire Department prior to commencement of combustible construction. Note: Temporary water and temporary access during construction may be permitted upon request to, and approval by, the Fire Department.

24. No obstructions (landscaping, signs, fences or other elements) shall encroach upon any required fire access or fire facility.
25. All signs will require approval from the Planning and Development Services Department prior to installation.
26. Trash receptacles and on-grade and rooftop mechanical fixtures and equipment shall be concealed from public view by use of an approved sight-obscuring method. All screening materials shall be compatible with the building materials/design.
27. Utility services shall be installed underground.
28. No trees within street right-of-ways shall be removed or pruned without approval from Boise City Community Forestry in compliance with Boise City Code. No trees within the property, as shown on the plans and approved by the Design Review Committee or the Design Review staff, shall be removed without the approval of the Design Review Committee or the Design Review staff and in compliance with Boise City Code.
29. In the event a tree is removed without prior approval, the tree shall be replaced with a tree with trunk caliper 1.5 times the one removed or with a sufficient number of trees, as approved by the Design Review Committee or the Design Review staff, with a trunk caliper not less than 4" and a total cumulative caliper area equal to 1.5 times the caliper area of the tree(s) removed. Caliper shall be as measured by the American Nurseryman's Association standards. For example, if a 12" caliper tree is removed, it must be replaced with either one 18" caliper tree or three 6" caliper trees or five 4" caliper trees. The replacement requirement may be modified upon a showing made to the Design Review Committee or the Design Review staff of disease or death of the tree which was not caused by neglect.
30. An Occupancy Permit will not be issued by the Planning and Development Services Department until all of these conditions have been met. In the event a condition(s) cannot be met by the desired date of occupancy, the Planning Director will determine whether the condition(s) is bondable or should be completed, and if determined to be bondable, a bond or other surety acceptable to Boise City will be required in the amount of 110% of the value of the condition(s) that is incomplete.
31. No change in the terms and conditions of this approval shall be valid unless in writing and



signed by the applicant or his authorized representative and an authorized representative of Boise City. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon Boise City.

32. Any change by the applicant in the planned use of the property, which is the subject of this application, shall require the applicant to comply with all rules, regulations, ordinances, plans, or other regulatory and legal restrictions in force at the time the applicant, or successors of interest, advise Boise City of intent to change the planned use of the property described herein, unless a variance in said requirements or other legal relief is granted pursuant to the law in effect at the time the change in use is sought.



Planning & Development Services

Boise City Hall, 2nd Floor
150 N Capitol Boulevard
P.O. Box 500
Boise, Idaho 83701-0500

Phone: 208/608-7100
Fax: 208/384-3867
TDD/TTY: 800/377-3529
Website: www.cityofboise.org/pds

MEMO

To: Planning & Zoning
From: Adele Schaffeld Griffin, Assistant Building Official
CC:
Date: July 17, 2018
Re: DRH18-00308, New Hotel

This project will require a Commercial New building/addition permit application, Form 502. All drawings shall be prepared by an Idaho Licensed Design Professional. No occupancy will be allowed prior to issuance of a certificate of occupancy.

The City of Boise adopted the 2015 International Building, Fire and Energy Code January 1st 2018.

The rear property line is show 5 feet from the building on the site plan. This wall will need to be constructed as per IBC Table 602 and your glazing will be limited by IBC Table 705.8. Please review these sections. You will be limited to 25 percent glazing at 5 feet from the property line and the glazing and frame will need to be rated for at least a 1 hour fire rated wall. The openings for the below window PTAC units will not be allowed at the 5 foot setback. If you or your architect have questions, please contact the Building Plan Review Division at 208-608-7100 and ask for the plans examiner on call.

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 7/17/2018

To: Planning and Development Services

From: Brian Murphy, Drainage Coordinator
Public Works

Subject: **DRH18-000305** Drainage/Stormwater Comments

A drainage plan must be submitted and approved by Public Works prior to issuance of a building permit.

If you have any further questions contact Brian Murphy, 384-3752.

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 7/16/2018

To: Planning and Development Services

From: Terry Alber, Pretreatment Coordinator, 208-608-7523
Public Works

Subject: **DRH18-00305**; 2909 W ELDER ST 83705; Pretreatment Comments

No dining is on-site.
Public Works, Pretreatment offers NO COMMENT.

CITY OF BOISE

INTER-DEPARTMENT
CORRESPONDENCE

Date: July 16, 2018

To: Planning and Development Services

From: Mike Sheppard, Civil Engineer
Public Works

Subject: DRH18-00305; 2909 W. Elder Street; Sewer Comments

Upon development of the property, connection to central sanitary sewer is required. Sewers are available in W. Elder Street and S. Shoshone Street.

No permanent structures within Boise City Sewer Easement along W. Elder Street.

Prior to granting of final sewer construction plan approval, all requirements by Boise City Planning and Development Services must be met.

If you have any further questions, please contact Mike Sheppard at 608-7504.



PUBLIC WORKS DEPARTMENT

MAYOR: David H. Bieter | DIRECTOR: Stephan Burgos

MEMO

TO: Planning and Development Services
FROM: Evan Carpenter
Environmental Analyst
Public Works Department
DATE: 7/16/2018
RE: Solid Waste Comments – DRH18-00305

City of Boise Solid Waste staff has reviewed the application for this project and has the following comments:

The solid waste enclosure must have at least 18 feet of unobstructed clearance between gate posts (measured from the innermost points) for two dumpsters. A single 6- or 8-yard dumpster could be placed in the enclosure with no required changes.

The link below provides information regarding trash enclosure design and location requirements:

<http://curbit.cityofboise.org/media/1314/commercialenclosurerequirements.pdf>

Please contact me with any questions at 208-608-7161 or ecarpenter@cityofboise.org.

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 17 July 2018

To: Planning and Development Services

From: Tom Marshall, Street Lighting Technician
Public Works

Subject: DRH18-00305; 2909 W Elder St; Street Light Comments

No comment.

If you have any further questions, please contact Tom Marshall at 608-7526.

I:\PWA\Subjects\Review Comments\CUs\CU Streetlight comment template 2018.docx

Andrea Tuning

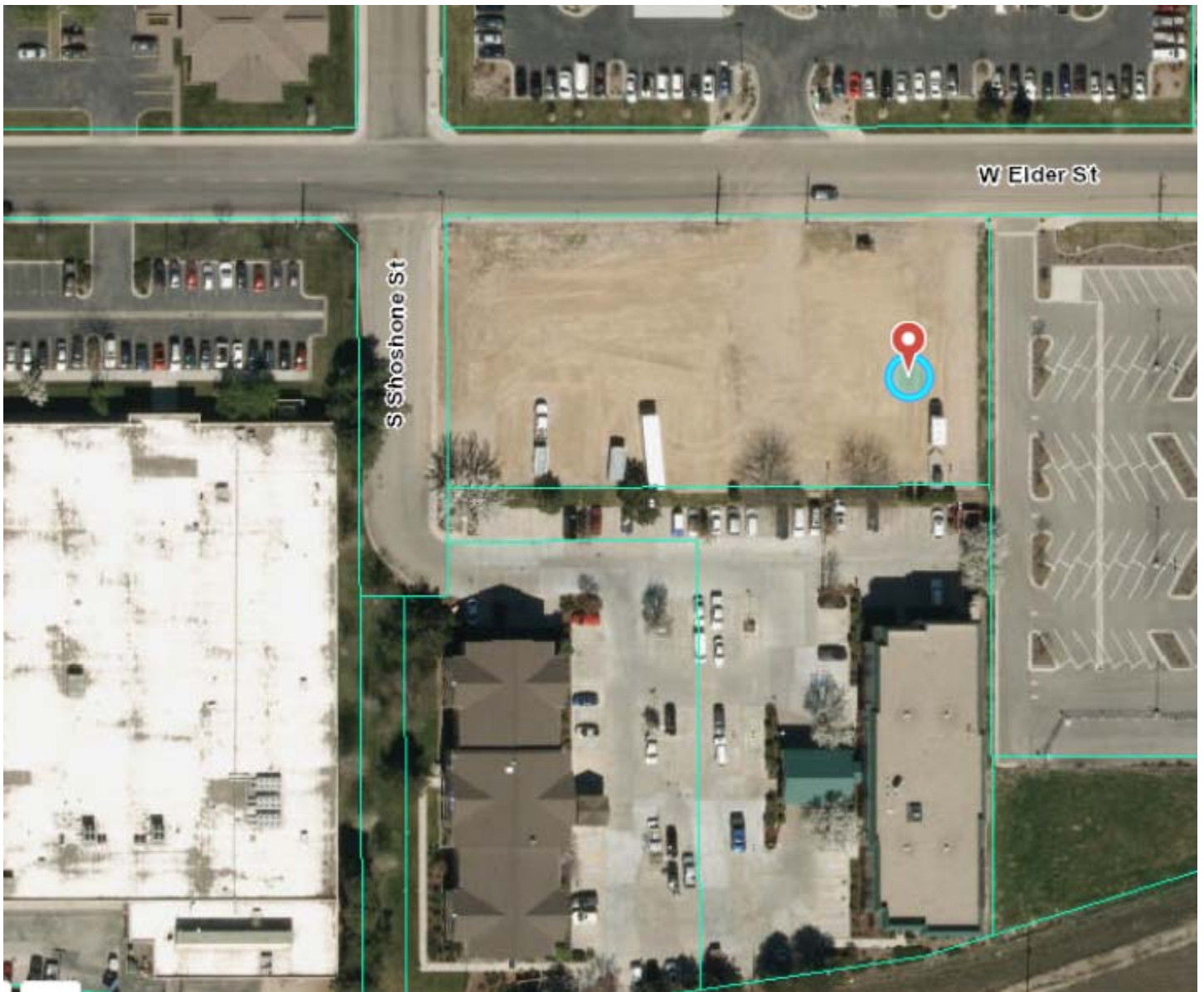
From: Zach Piepmeyer
Sent: Monday, July 16, 2018 9:52 AM
To: Andrea Tuning
Cc: Karen Gallagher; Tom Laws
Subject: DRH18-00305 2909 Elder

Hi, Andrea.

We'd like to request that access be from Shoshone Street only, just like the other adjacent hotels. Other transpo items to consider:

- BSU owns the parcel and P&R to the east. May be worth talking to them about joint access (although the approach adjacent to this hotel parcel is an 'exit only' approach)
- Would be great to get detached sidewalks.
- R/W or easement will need to be dedicated for either attached or detached sidewalk on Elder. Currently on private property
- Elder Ped Ramps at both east and west ends of the property likely will need to be upgraded.

Thanks,





Thanks,



Zach Piepmeyer, P.E.
Associate Transportation Planner
Planning and Development Services
150 N. Capitol Blvd
Boise, ID 83701
Office: (208)608-7096
zpiepmeyer@cityofboise.org

Making Boise the most livable city in the country.

CITY of BOISE

NOTICE OF PUBLIC HEARING

HEARING INFORMATION

HEARING LOCATION: Boise City Hall • 150 N. Capitol Blvd. • 3rd Floor

The City of Boise's **DESIGN REVIEW COMMITTEE**
will hear the following item at 6:00 PM on
August 8, 2018.

PROJECT INFORMATION

CASE NUMBER: DRH18-00305

APPLICANT: The Richardson Design Partnership

ADDRESS: 2909 West Elder Street

REQUEST: Construct a 37,664-square foot hotel
building and other site related improvements,
in a C-2D (General Commercial with Design
Review) zone. Andrea Tuning



pds.cityofboise.org/permits

Enter the case number listed above to review project documents.
Planning & Development Services • 208/608-7100 • TDD-TTY 800/377-3529