



PUD18-00045, CVA18-00077, CFH18-00108 & SUB18-00059 The Land Group, Inc.

Summary

A conditional use permit, hillside development permit and preliminary plat for a planned residential development comprised of seventeen homes on 4.98 acres at 3600 N. Bogus Basin Road, within the R-1B (Single Family Residential) zone. A variance to the retaining wall height requirements is also included.

Prepared By

Brent Moore, Associate Planner

Recommendation

Approval with conditions

Reason for the Decision

Planned Unit Development

The proposed development is compatible with the general neighborhood as many other residential properties are located in the vicinity, and it will include a density of only 3.4 units per acre in a zone which allows up to 4.8 units per acre. As conditioned, the development will not adversely impact surrounding properties as it will comply with all required density, height, parking, and exterior setback requirements of the Code and correspondence received from commenting agencies confirm the use will not place an undue burden on the transportation system or other services in the vicinity. The proposed mix of townhomes and single-family homes complies with the Comprehensive Plan as it designates the site as 'Suburban' on the Land Use Map within which detached and attached single-family homes are listed as the primary use. The proposal also complies with the *Highlands Neighborhood Plan* as *Goal 1, Objective 2* calls for the upper Highlands Neighborhood to be primarily residential and to include a mixture of architectural styles and housing units of varying densities.

Variance

The steep slope of the property along Bogus Basin Road and Curling Drive constitute a hardship which justifies the proposed variance to the height requirement for retaining walls within the front yard setbacks. The proposed retaining walls will prevent erosion and provide greater soil stability along the adjacent roadways and will not be materially detrimental to the public health, safety, or welfare.



PLANNING AND DEVELOPMENT SERVICES

MAYOR: David H. Bieter | INTERIM DIRECTOR: Jason Blais

7/7a/7b/7c

Hillside Development Permit

The project is in compliance with the technical requirements of the Hillside and Foothills Development Standards (B.C.C 11-07-08). This includes those related to grading, drainage, hazardous areas, revegetation, and preservation of outstanding and unique features. With the attached conditions, this development will not adversely affect other property in the vicinity. The geotechnical information confirms the land is capable of the volume and type of development proposed as determined by the geological, hydrological and soils engineering analysis. Correspondence received from commenting agencies confirm the project will not create a potential hazard of flooding, soil instability, fire, or erosion. The property is not located in a floodplain or floodway.

Subdivision

As conditioned, the submitted preliminary plat is consistent with the Development Code and the Comprehensive Plan.

*This report includes information available on the Boise City Website.
The entire public record, including additional documents, can be viewed through [PDS Online](#).*

CFH18-00108



A-2

R-1ADA

A-2DA

R-1B

N Horse Trail Ln

N Hackberry Way

W Thornberry Ct

N Simplot Ln

W Thornberry Dr

N Bogus Basin Rd

L-OD

A-1

R6

HIGHLANDS
ELEMENTARY
SCHOOL

W Curling Dr

R-1B

N Wagon Wheel Rd

R-1C

R-1B

W Braemere Rd

A-1

A-1

A-1

CFH18-00108



Suburban

Slope Protection

Slope Protection

Buildable

School

HIGHLANDS
ELEMENTARY
SCHOOL

Parks/Open
Space

Parks/Open
Space

N La Fontana

N Simplot Ln

N Horse Trail Ln

N Hackberry Way

W Thornberry Ct

W Thornberry Dr

N Bogus Basin Rd

N Wagon Wheel Rd

N Crane Creek Rd

W Curing Dr

W Ranch Rd

W Braemere Rd

E Braemere Rd

E Hearthstone Dr

CFH18-00108



N Simplot Ln

N Simplot Ln

N Horse Trail Ln

N Hackberry Way

W Thornberry Ct

W Thornberry Dr

N Bogus Basin Rd

W Curling Dr

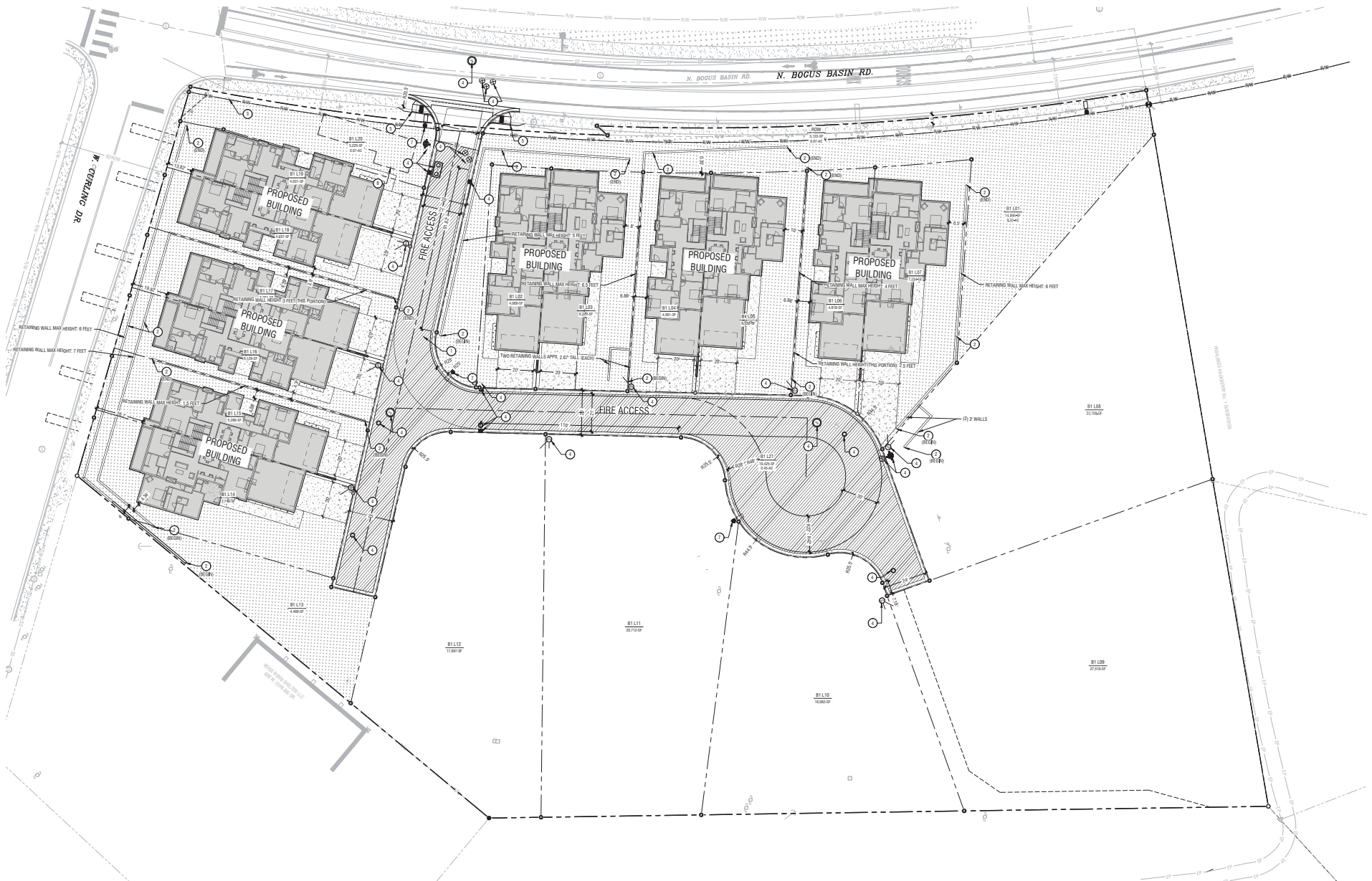
HIGHLANDS
ELEMENTARY
SCHOOL

N Wagon Wheel Rd

N Crane
Creek Rd

W Braemere Rd





Site Plan

Horizontal Scale: 1" = 20'

Material Legend

- ASPHALT PAVING
- FIRE ACCESS LANE 20'-4" MIN WIDTH, UNAD.
- STANDARD CONCRETE FLATWORK
- LANDSCAPE AREAS
SEE LANDSCAPE PLANS.

Keynotes:

1. PERMEABLE PAVEMENT AREA, SEE DETAIL 11-C2-20.
2. PROPOSED RETAINING WALL HEIGHT PER PLAN.
3. TRANSFORMER TO BE SCREENED, SEE LANDSCAPE PLAN.
4. SEE UTILITY STRUCTURES SEE UTILITY PLAN SHEET 11-010.
5. PROPOSED TYPE-A PEDESTRIAN RAMP, BPAW-SC-713C.
6. PROPOSED ROLL-OFF CURB FOR BPAW-SC-713C.
7. STREET LIGHT.
8. P-TANK STORM WATER TREATMENT SYSTEM.

Curve Table

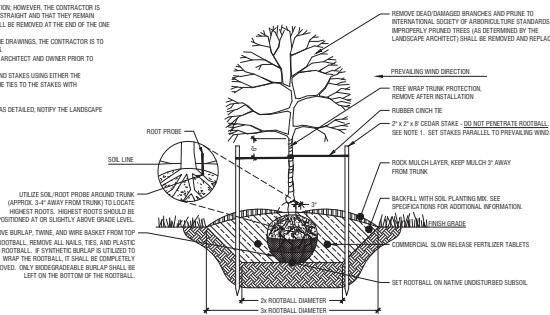
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH



Project No. 18011
Date of Issuance: 1/15/21
Project Location: 3000 Bogus Basin Road

NOTES:

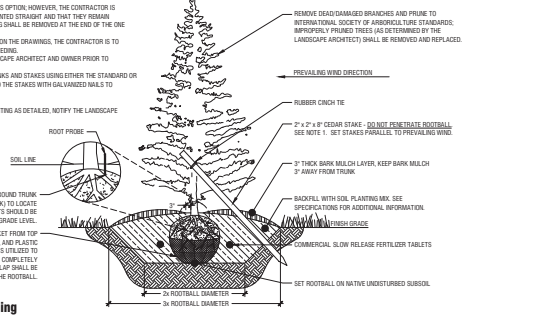
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO REQUIRE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- WRAP RUBBER CROUCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SORE.
- WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
- IN THE EVENT HERMATIC SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



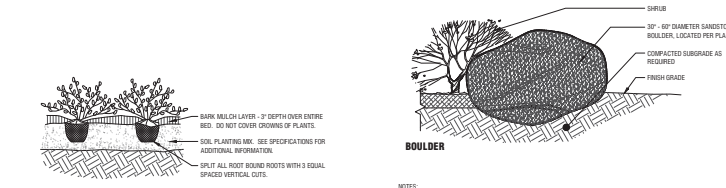
1 Deciduous Tree Planting
Scale: NTS

NOTES:

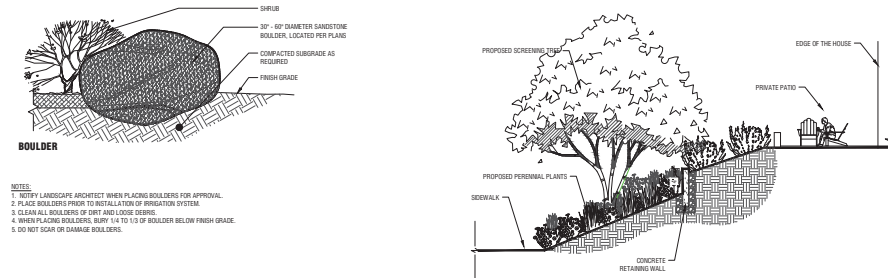
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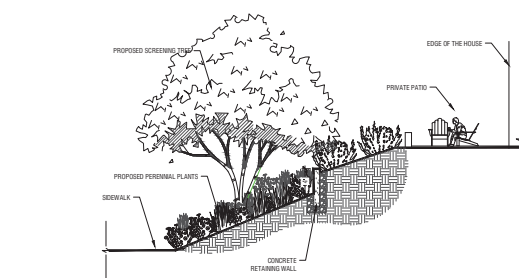
2 Coniferous Tree Planting
Scale: NTS



3 Perennial & Groundcover Planting
Scale: NTS



4 Boulder Installation
Scale: NTS



5 N. Bogus Basin Road
Scale: 1/8\"/>

NOTES:

- SET GROUND COVERS IN STAGGERED ROWS AS SPECIFIED.
- SET PERENNIALS IN STAGGERED ROWS AS SPECIFIED.

- NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
- PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.
- CLEAN ALL BOULDERS OF DIRT AND LOOSE DEBRIS.
- WHEN PLACING BOULDERS, BURY 1/4 TO 1/2 OF BOULDER BELOW FRESH GRADE.
- DO NOT SCAR OR DAMAGE BOUNDERS.

NOTES:

- REMOVE DEAD/DAMAGED BRANCHES AND PRUNE TO INTENTIONAL SOCIETY OF ARBOREAL TREE STANDARDS.
- IMPROPERLY PRUNED TREES (AS DETERMINED BY THE LANDSCAPE ARCHITECT) SHALL BE REMOVED AND REPLACED.
- IN THE EVENT HERMATIC SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

PLANT SCHEDULE					
TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	REMARKS	
	ACEQUILIFERO / BLACK MAPLE	2\"/>			

SHRUB AREAS					
BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY	REMARKS	
BOULEAUX / MOORHEDDE / MOORHEDDE YARROW	1\"/>				

Landscape Notes:

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH APPEAR UNDESIRABLE PRIOR TO PROPER EXECUTION OF THIS WORK. PRIOR TO BEGINNING WORK.
- IMPROVE THE TO SOFTEN AND EVEN GRADIENTS WITH POSITIVE FINISHING IN ACCORDANCE WITH SITE GRADING PLAN. REMOVE ROOTS AND FILL DEPRESSIONS. AS REQUIRED TO MEET FRESH GRADES PLACE OF ROCK MULCH OVER SUBGRADE SOIL TO ACHIEVE FRESH GRADE. FRESH GRADE RELATED TO ADJACENT SITE ELEVATIONS SHALL BE:
- 1 INCH BELOW TOP OF ADJACENT PAVERMENT, VALUE BOX, UTILITY.
- 3 INCHES BELOW TOP OF CURB OR BELOW UNFINISHED FLOORING.
- ALL PLANTING BEES SHALL HAVE A MINIMUM OF 18\"/>

Automatic Underground Irrigation Notes:

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH PROVIDES COMPLETE COVERAGE AND PROPERLY ZONED FOR RESPECTIVE WATER USES.
- EACH HYDRONIC ZONE TO BE BRIGATED WITH SEPARATE INDIVIDUAL STATIONING. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISE HEIGHT OF 3\"/>

Tree Protection Notes:

- PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE. NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE CRONE OF THE TREE(S).
- CONSTRUCT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION.
- DO NOT ALLOW CEMENT TRUCKS TO TRAVE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEGS.
- DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
- MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1.12\"/>



Site Grading Plan

Horizontal Scale: 1" = 20'

Grading Notes:

- A. EXISTING AND PROPOSED CONTOURS ARE AT A 5-FIT INTERVAL.
- B. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 2%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 1% SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2.0% CROSS SLOPE, OR HAVE CROSS SLOPE LESS THAN 1/8".
- C. MAX BUILDING HEIGHT: 2895.00'
- D. SPOT ELEVATIONS INDICATE TOP OF CONCRETE SURFACE UNLESS NOTED OTHERWISE AS FOLLOWS:
 D.A. FF = FINISH FLOOR
 D.B. LP = LIP OF GUTTER
 D.C. MK = MATCH EXISTING
 D.D. RM = RM OF STRUCTURE

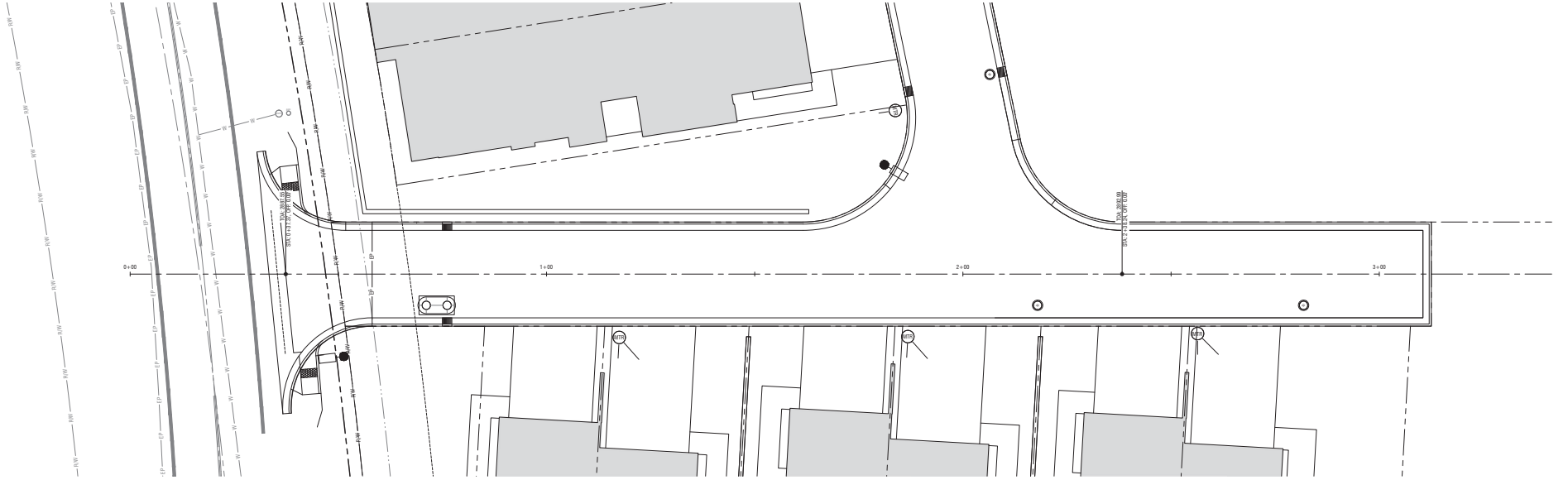
- D.E. TA = TOP OF ASPHALT
- D.F. TBC = TOP BACK OF CURB
- D.G. TC = TOP OF CONCRETE
- D.H. TS = FINISH GRADE
- D.I. TP = TOP OF PERMEABLE PAVEMENT
- E. SET FLAT WORK ADJACENT TO BUILDING FLUSH WITH FINISH FLOOR AT DOOR OPENING AND UNLESS A TRANSITION TO FINISH 2" OF STEEL WALL UNLESS INDICATED OTHERWISE. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION ADJACENT TO THE BUILDING.
- F. ASPHALT REPAIR ASSOCIATED WITH PROPOSED WET AND DRY UTILITY TRENCHING AND INSTALLATION WITHIN EXISTING ASPHALT AREAS SHALL MATCH EXISTING GRADES, SLOPES AND MATCH EXISTING DRAINAGE PATTERNS.

Grading Notes:

1. RETAINING WALL. SEE SITE PLAN SHEET C4.00 FOR HEIGHT.
2. APPROXIMATE LIMIT OF GRADING. GRADE TO EXISTING AT 3:1.

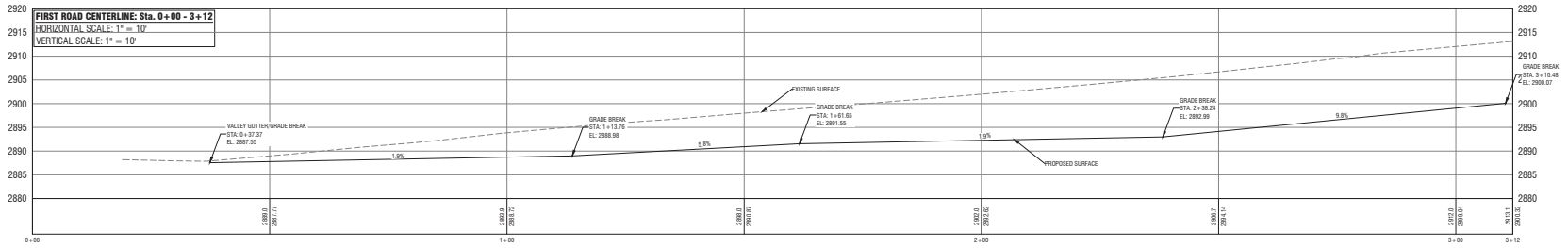


Project No.: 11001
 Date of Issuance: 11/15/19
 Project Location: 10961



First Rd. Plan & Profile

Horizontal Scale: 1" = 10'

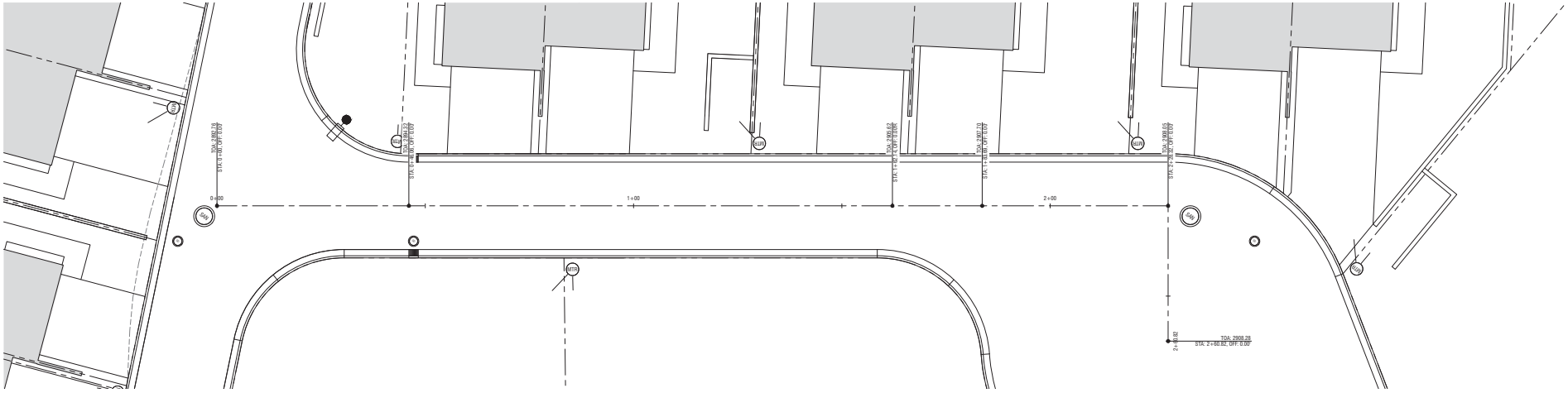


HIGHLAND HEIGHTS SUBDIVISION
ALSCOTT INC.
 3600 Egans Blain Road
 Dallas, TX 75240

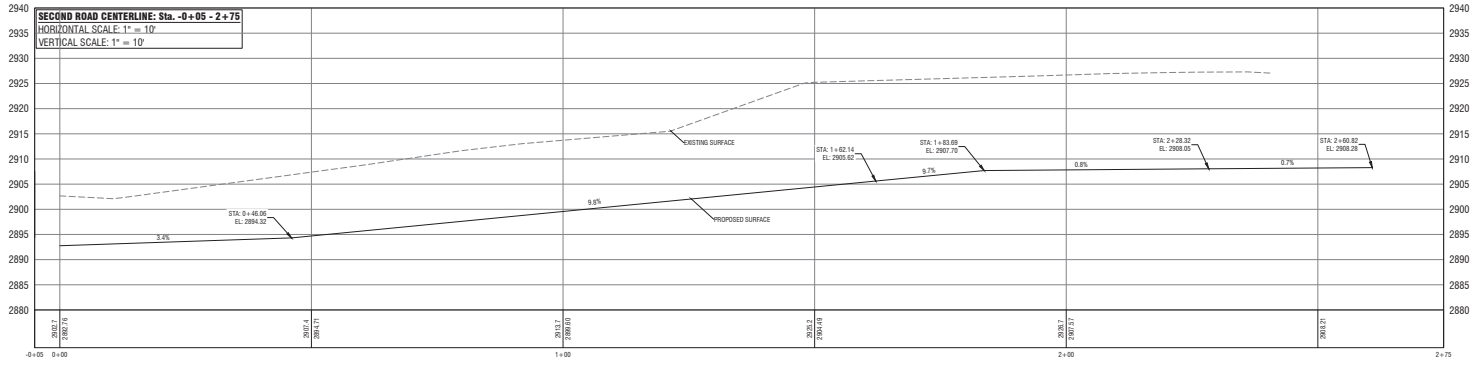


Project No.: 11024
 Date of Issue: 11/22/19
 Project Name: 10310144

First Rd. Plan & Profile
C4.01



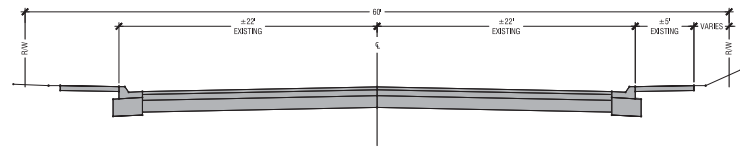
Second Rd. Plan & Profile
Horizontal Scale: 1" = 10'



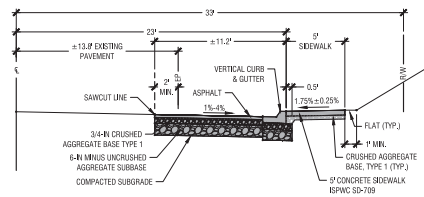
Revision	Date



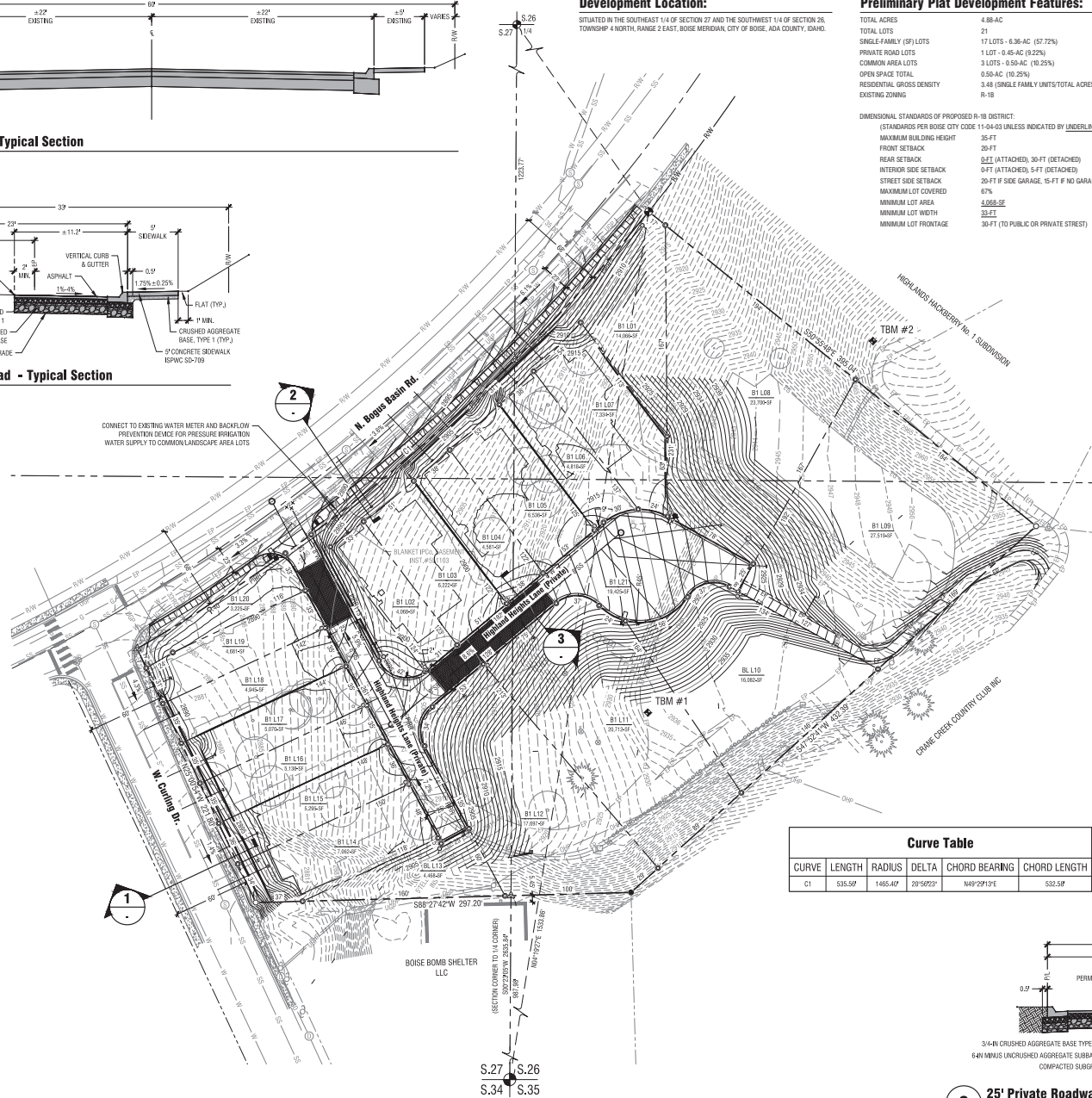
Project No.: 11074
Date of Issuance: 11/15/19
Project Location: 10310144



1 W. Curling Drive - Typical Section
Scale: Not to Scale



2 N. Bogus Basin Road - Typical Section
Scale: Not to Scale



Development Location:
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 27 AND THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN, CITY OF BOISE, ADA COUNTY, IDAHO.

Preliminary Plat Development Features:

TOTAL ACRES	4.88-AC
TOTAL LOTS	21
SINGLE-FAMILY (SF) LOTS	17 LOTS - 0.36-AC (37.72%)
PRIVATE ROAD LOTS	1 LOT - 0.45-AC (9.22%)
COMMON AREA LOTS	3 LOTS - 0.58-AC (10.25%)
OPEN SPACE TOTAL	0.50-AC (10.25%)
RESIDENTIAL GROSS DENSITY	3.48 (SINGLE FAMILY UNITS/TOTAL ACRES)
EXISTING ZONING	R-1B

MINIMUM STANDARDS OF PROPOSED R-1B DISTRICT:
(STANDARDS PER BOISE CITY CODE 11-04-03 UNLESS INDICATED BY UNDERLINE)

MAXIMUM BUILDING HEIGHT	30-FT
FRONT SETBACK	20-FT
REAR SETBACK	0-FT (ATTACHED), 30-FT (DETACHED)
INTERIOR SIDE SETBACK	0-FT (ATTACHED), 5-FT (DETACHED)
STREET SIDE SETBACK	20-FT IF SIDE GARAGE, 15-FT IF NO GARAGE
MAXIMUM LOT COVERED	67%
MINIMUM LOT AREA	4,088-SF
MINIMUM LOT WIDTH	30-FT
MINIMUM LOT FRONTAGE	30-FT (TO PUBLIC OR PRIVATE STREET)

Legend:

- FOUND BRASS OR ALUMINUM CAP
- CALCULATED POINT (NOTHING SET)
- SECTION LINE
- SUBDIVISION BOUNDARY LINE
- ROAD CENTERLINE
- RIGHT-OF-WAY LINE
- INTERIOR LOT LINE
- PROPOSED SEWER MAIN WITH MANHOLE
- PROPOSED WATER MAIN AND VALVE
- PROPOSED WATER SERVICE
- PROPOSED FIRE HYDRANT LOCATION
- PROPOSED PRESSURE IRRIGATION
- PROPOSED CURB AND GUTTER
- 9" WIDE CONCRETE SIDEWALK
- PERMEABLE PAVERS
- PROPOSED STREET LIGHT LOCATION
- 9" CONTOUR LINE
- EXISTING SEWER MAIN AND MANHOLE
- EXISTING WATER MAIN AND WATER VALVE
- EXISTING NATURAL GAS LINE
- EXISTING TELEPHONE
- EXISTING UNDERGROUND POWER
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM DRAIN MANHOLE
- EXISTING POWER POLE
- POWER TRANSFORMER

Notes:

- ALL LOT LINES COMMON TO A PUBLIC RIGHT-OF-WAY, PRIVATE ROAD LOT AND THE SUBDIVISION EXTERIOR BOUNDARY HAVE A TEN-FOOT (10') WIDE PERMANENT PUBLIC UTILITY EASEMENT (PUE), DRAINAGE AND IRRIGATION EASEMENT. THE EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD SURFACE DRIVEWAYS TO EACH LOT.
- EXCEPT AS SHOWN OR WHERE SUBSEQUENTLY IDENTIFIED TO BE REQUIRED BY A UTILITY PROVIDER, NO EASEMENTS ARE PROVIDED ALONG INTERIOR SIDE YARD LOT LINES.
- LOT 21, BLOCK 1 SHALL BE A PRIVATE ROAD LOT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALL REAR LOT LINES SHALL HAVE A TEN-FOOT (10') WIDE PUBLIC UTILITIES, PROPERTY DRAINAGE, AND PRESSURIZED IRRIGATION EASEMENT.
- LOTS 1, 13, & 20, BLOCK 1 ARE DESIGNATED AS COMMON LANDSCAPE AREA LOTS AND WILL BE OWNED BY THE HOMEOWNERS ASSOCIATION AND/OR ASSOCI. THESE LOTS SHALL HAVE A BLANKET PUBLIC UTILITIES, DRAINAGE AND PRESSURE IRRIGATION EASEMENT OVER THE ENTIRETY OF THE LOT.
- IDAHO CODE SECTION 31-3803 CONCERNING IRRIGATION WATER IS NOT APPLICABLE FOR THIS SUBDIVISION. THE BOUNDARY OF THIS SUBDIVISION DOES NOT LIE WITHIN THE BOUNDARY OF AN IRRIGATION DISTRICT.
- ALL EXISTING EASEMENTS ARE SHOWN PER CURRENT TITLE REPORTS.
- DIRECT VEHICULAR ACCESS TO LOTS ALONG N. BOGUS BASIN ROAD AND W. CURLING DRIVE IS PROHIBITED.
- ANY RE-SUBDIVISION OF THIS PLAT SHALL BE IN COMPLIANCE WITH THE APPLICABLE SUBDIVISION REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
- MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE BOISE CITY ZONING ORDINANCE AT THE TIME OF ISSUANCE OF A BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.

Benchmarks: NAVD '88 Datum

- TBM #1 EL. = 2955.70
NOTHING 72587 3480, EASTING: 2507851 3830
MAG NAIL NEAR EDGE OF PAVEMENT IN PARKING LOT.
- TBM #2 EL. = 2975.01
5/8" PEAR WITH PLASTIC CAP LOCATED IN LOT 11, BLOCK 2 OF
HIGHLANDS HACKBERRY No. 1 SUBDIVISION

Development Contacts:

OWNER / APPLICANT:
THE LAND GROUP, INC.
501 E. BAYBROOK CT.
BOISE, ID 83709
CONTACT: BRIAN NAEVE

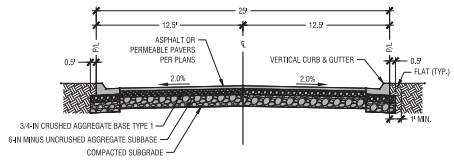
ENGINEER / SURVEYOR:
THE LAND GROUP, INC.
462 E. SHORE DRIVE, STE. 100
EAGLE, ID 83616
CONTACT: JASON DENSMER, PE / MIKE FEMENIA, PLS

PLANNER / REPRESENTATIVE:
THE LAND GROUP, INC.
462 E. SHORE DRIVE, STE. 100
EAGLE, ID 83616
CONTACT: TAMARA THOMPSON

UTILITY SERVICE PROVIDERS:
SEWER: BOISE CITY
WATER: SUEZ WATER OF IDAHO
ELECTRIC: IDAHO POWER COMPANY
INTERMEDIATE GAS COMPANY

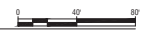
Curve Table

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	535.59'	1465.40'	20°50'53"	N49°29'15"E	535.59'



3 25' Private Roadway - Typical Section
Scale: Not to Scale

Preliminary Plat & Development Plan
Horizontal Scale: 1" = 40'



THIS PLAN AND ALL INFORMATION HEREON ARE THE PROPERTY OF THE LAND GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE LAND GROUP, INC.



STUDY ELEVATION-UNIT 2A EAST
1 | CPT2.02A | 1/8" = 1'-0"



STUDY ELEVATION-UNIT 2A WEST
2 | CPT2.02A | 1/8" = 1'-0"



STUDY ELEVATION-UNIT 2A NORTH
3 | CPT2.02A | 1/8" = 1'-0"



STUDY ELEVATION-UNIT 2A SOUTH
4 | CPT2.02A | 1/8" = 1'-0"

FLOOR AREAS - UNIT 2A

MAIN LEVEL:	1,482 SF
UPPER LEVEL:	1,533 SF
TOTAL:	3,015 SF
GARAGE:	644 SF



LEVEL 1-UNIT 2A FLOOR PLAN COORDINATION
5 | CPT2.02A | 1/8" = 1'-0"



LEVEL 2-UNIT 2A FLOOR PLAN COORDINATION
6 | CPT2.02A | 1/8" = 1'-0"

UNIT 2A (SIDE ENTRY CONCEPT) - FLOOR PLANS & ELEVATIONS



STUDY ELEVATION-UNIT 3A, EAST
1 CPT2.03A 1/8" = 1'-0"



STUDY ELEVATION-UNIT 3A, WEST
2 CPT2.03A 1/8" = 1'-0"



STUDY ELEVATION-UNIT 3A, NORTH
3 CPT2.03A 1/8" = 1'-0"



STUDY ELEVATION-UNIT 3A, SOUTH
4 CPT2.03A 1/8" = 1'-0"

FLOOR AREAS - UNIT 2A

MAIN LEVEL:	5,402 SF
UPPER LEVEL:	1,539 SF
TOTAL:	6,941 SF
GARAGE:	644 SF

FLOOR AREAS - UNIT 3A

MAIN LEVEL:	2,902 SF
UPPER LEVEL:	2,282 SF
TOTAL:	5,184 SF
GARAGE:	644 SF



LEVEL 1-UNIT 3A FLOOR PLAN, COORDINATION
5 CPT2.03A 1/8" = 1'-0"

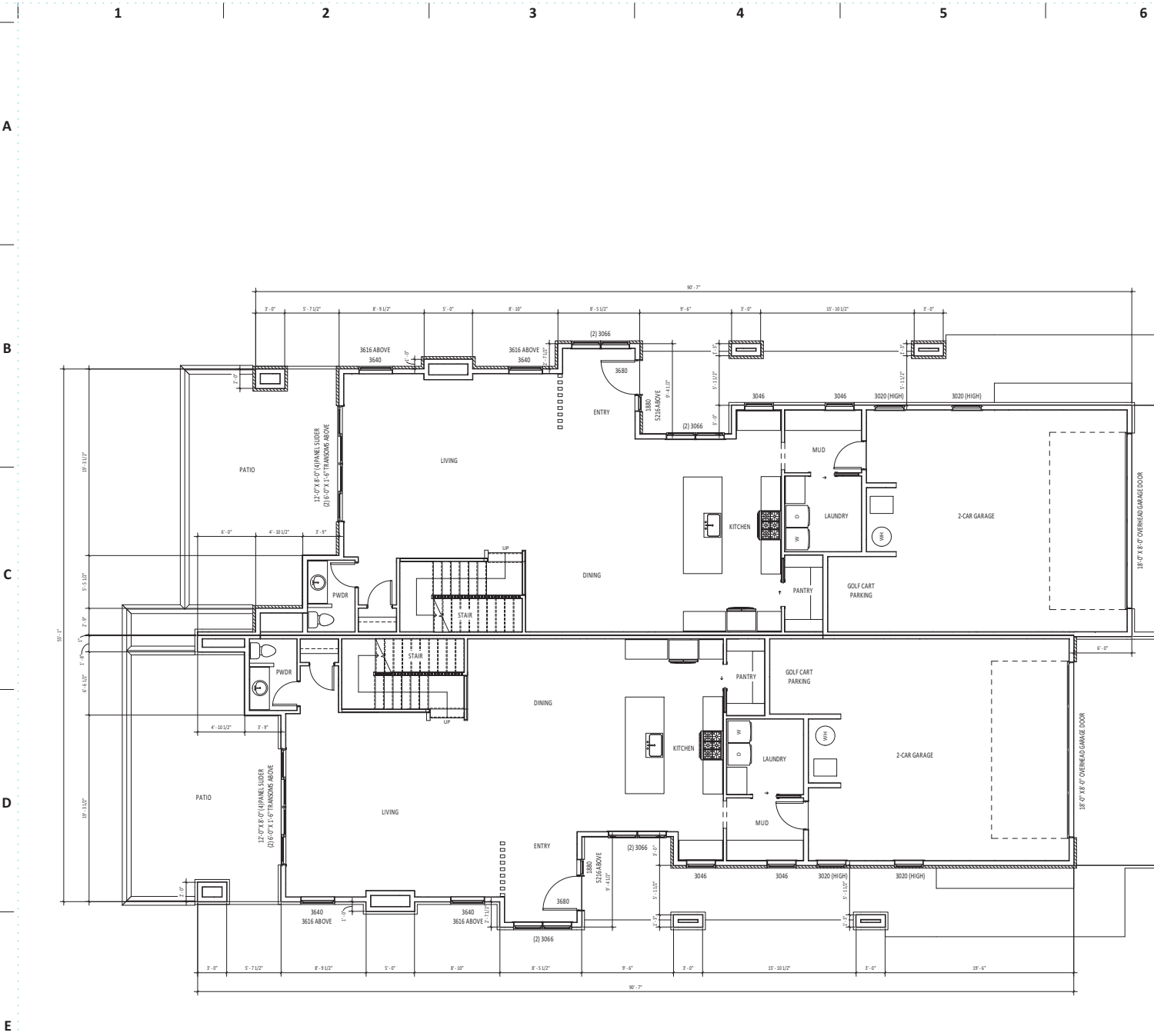


LEVEL 2-UNIT 3A FLOOR PLAN, COORDINATION
6 CPT2.03A 1/8" = 1'-0"

UNIT 3A (MASTER ON MAIN) - FLOOR PLANS & ELEVATIONS

FLOOR AREAS - UNIT 2A

MAIN LEVEL	1,402 SF
UPPER LEVEL	1,538 SF
TOTAL	2,940 SF
GARAGE	864 SF



Project:
BOGUS BASIN TOWNHOMES
PROJECT ADDRESS

Revisions: Δ

Project No: 18-028
Date: 9/19/2018
Checked By: JK
Drawn By: CB

Sheet Name:
**LEVEL 1 - FLOOR
PLAN_UNIT 2A**

CONCEPT DESIGN PACKAGE

Sheet No:
A2.03B

E1 LEVEL 1-FLOOR PLAN_UNIT B
A2.03B 1/4" = 1'-0"

1 2 3 4 5 6

A
B
C
D
E

FLOOR AREAS - UNIT 2A

MAIN LEVEL: 1442 SF
UPPER LEVEL: 1533 SF
TOTAL: 2975 SF
GARAGE: 644 SF



PIVOT NORTH ARCHITECTURE, PLLC.
1101 W. GROVE STREET
BOISE, ID 83702
www.pivnorthdesign.com

STAMP

Project:
BOGUS BASIN TOWNHOMES
PROJECT ADDRESS

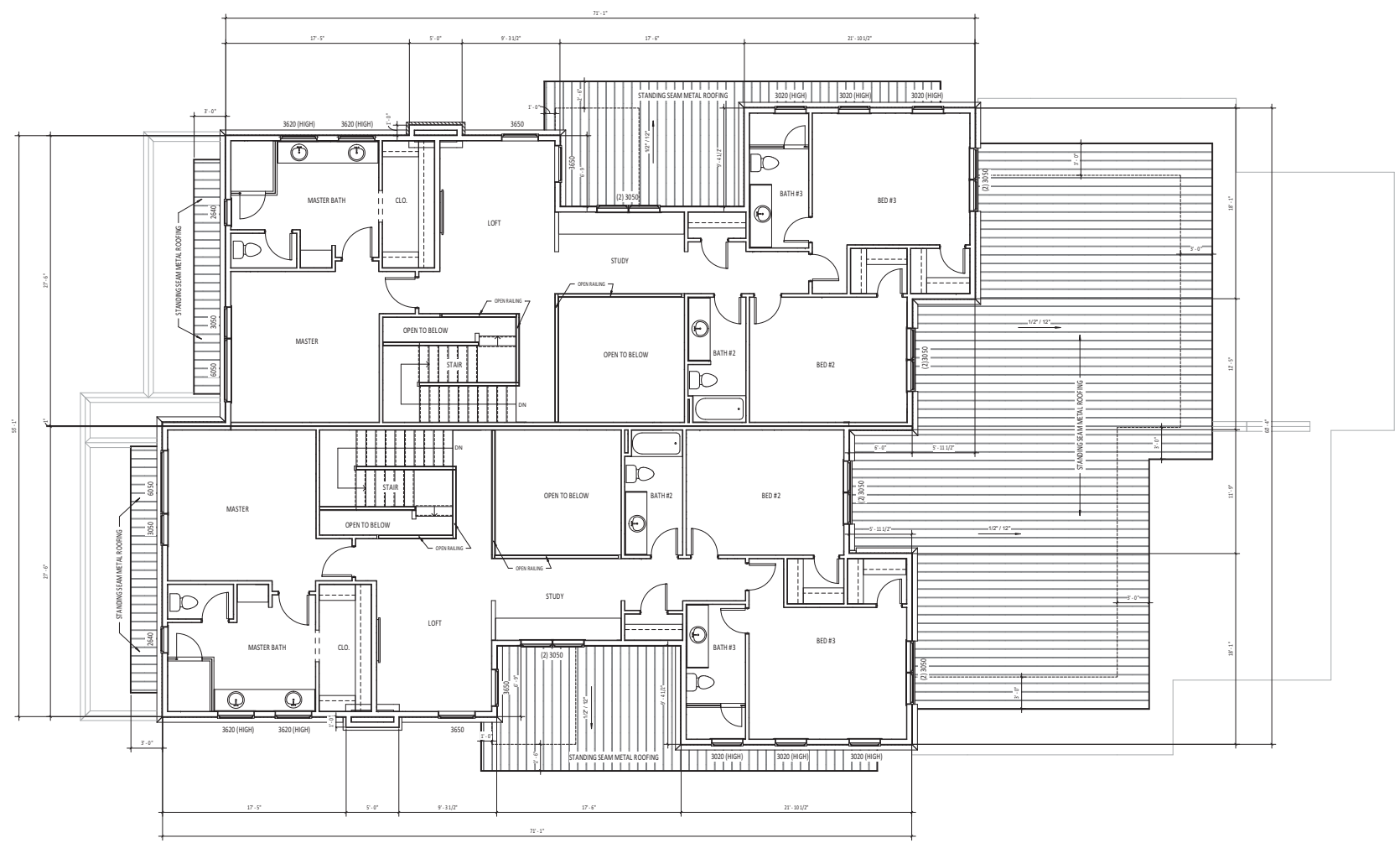
Revisions: Δ

Project No: 18-026
Date: 9/19/2018
Checked By: JK
Drawn By: CB

Sheet Name:
LEVEL 2 - FLOOR
PLAN_UNIT 2A

Sheet No:
A2.04B

CONCEPT DESIGN PACKAGE



E1 LEVEL 2-FLOOR PLAN_UNIT B
A2.04B 1/4"=1'-0"

9/20/2018 5:31:18 PM

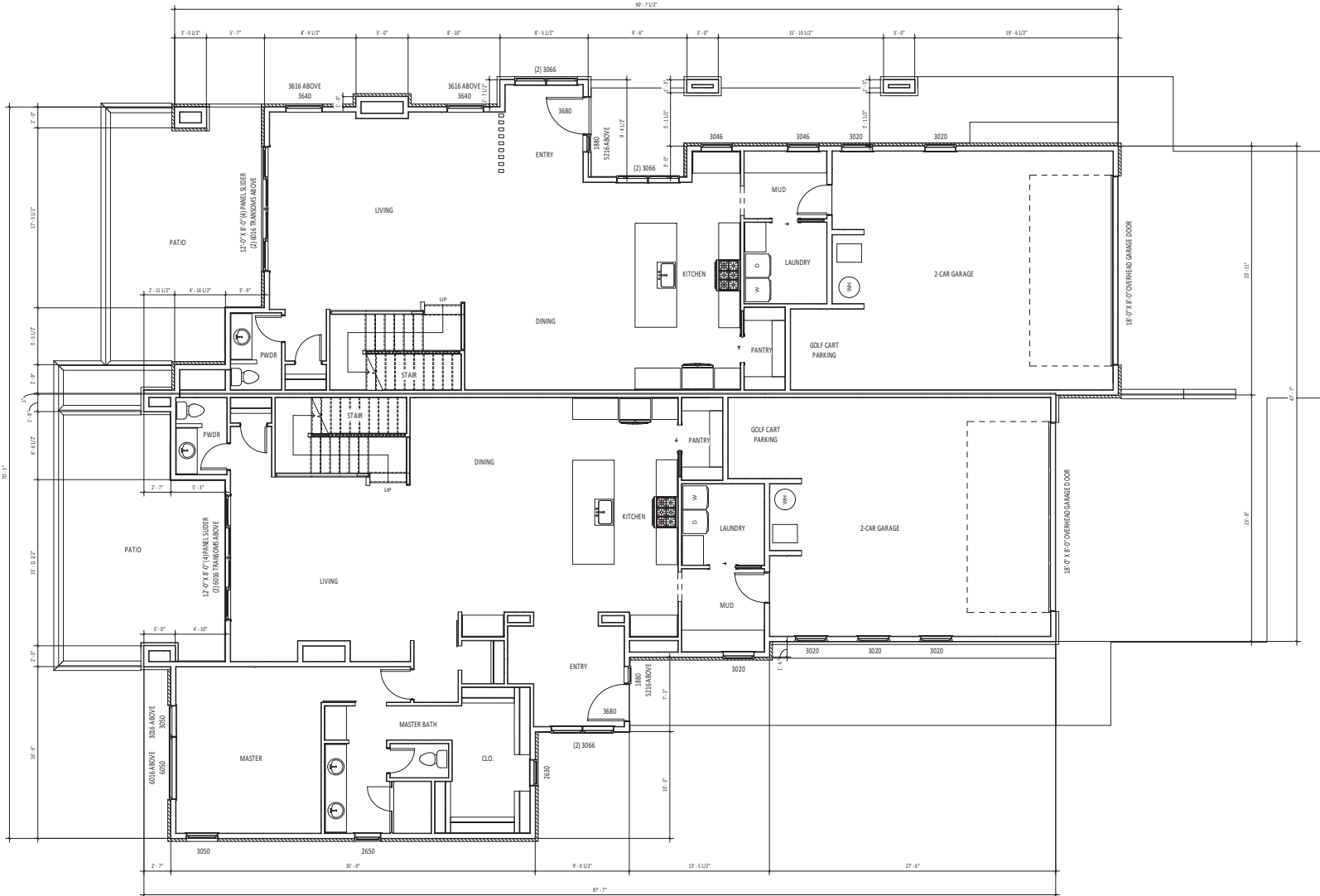


PIVOT NORTH ARCHITECTURE, PLLC.
1101 W. GROVE STREET
BOISE, ID 83702
www.pivnorthdesign.com

STAMP

FLOOR AREAS - UNIT 3A

MAIN LEVEL	2003 SF
UPPER LEVEL	1,208 SF
TOTAL	3,211 SF
GARAGE	644 SF



Project:
BOGUS BASIN TOWNHOMES
PROJECT ADDRESS

Revisions: Δ

Project No: 18-026
Date: 9/19/2018
Checked By: JK
Drawn By: CB

Sheet Name:
**LEVEL 1 - FLOOR
PLAN_UNIT 3A**

Sheet No:
A2.05C

CONCEPT DESIGN PACKAGE

E1 LEVEL 1-FLOOR PLAN_UNIT C
A2.05C 1/4" = 1'-0"

1 2 3 4 5 6

A
B
C
D
E

FLOOR AREAS - UNIT 3A
MAIN LEVEL: 2,023 SF
UPPER LEVEL: 1,285 SF
TOTAL: 3,308 SF
GARAGE: 644 SF



PIVOT NORTH ARCHITECTURE, PLLC.
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BOISE, ID 83702
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STAMP

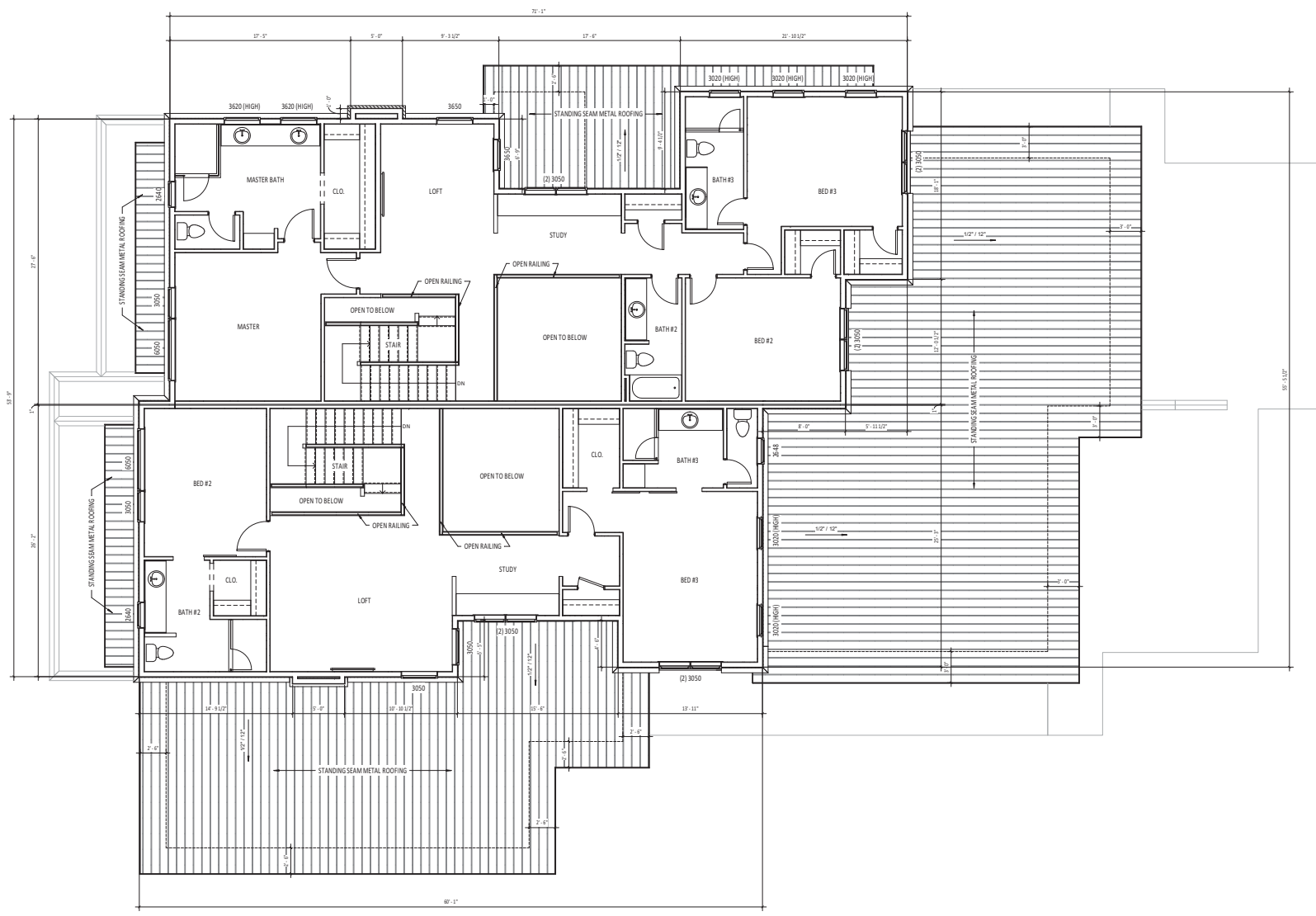
Project:
BOGUS BASIN TOWNHOMES
PROJECT ADDRESS

Revisions: Δ

Project No: 18-026
Date: 9/19/2018
Checked By: JK
Drawn By: CB

Sheet Name:
LEVEL 2 - FLOOR
PLAN_UNIT 3A

Sheet No:
A2.06C



CONCEPT DESIGN PACKAGE

E1 LEVEL 2-FLOOR PLAN UNIT C
A2.06C 1/4" = 1'-0"

9/20/2018 3:31:20 PM

Project:
BOGUS BASIN TOWNHOMES
PROJECT ADDRESS

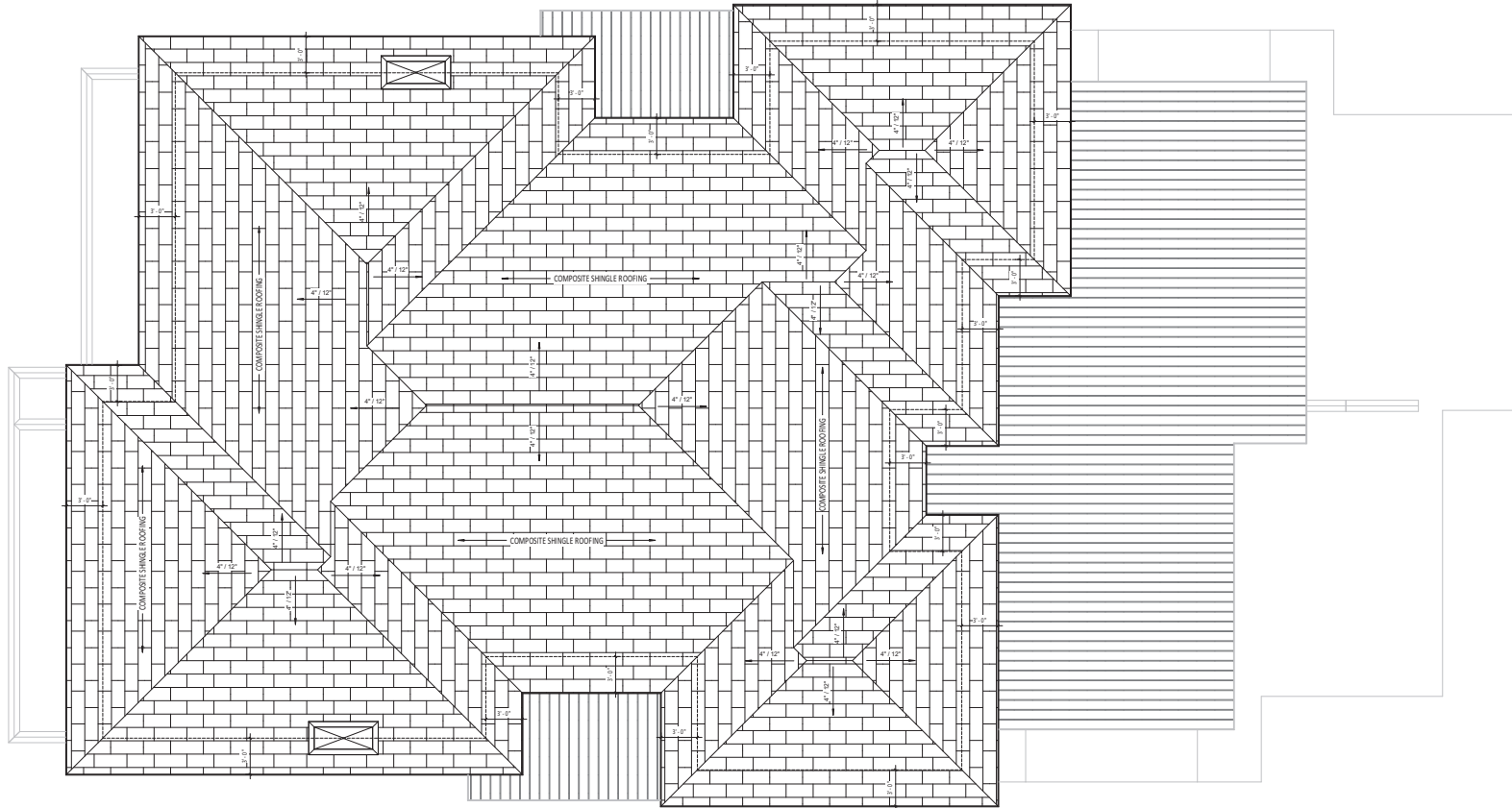
Revisions: Δ

Project No: 18-028
Date: 9/19/2018
Checked By: JK
Drawn By: CS

Sheet Name:
ROOF PLAN_UNIT 2A

Sheet No:
A2.31B

CONCEPT DESIGN PACKAGE



Project:
BOGUS BASIN TOWNHOMES
PROJECT ADDRESS

Revisions: Δ

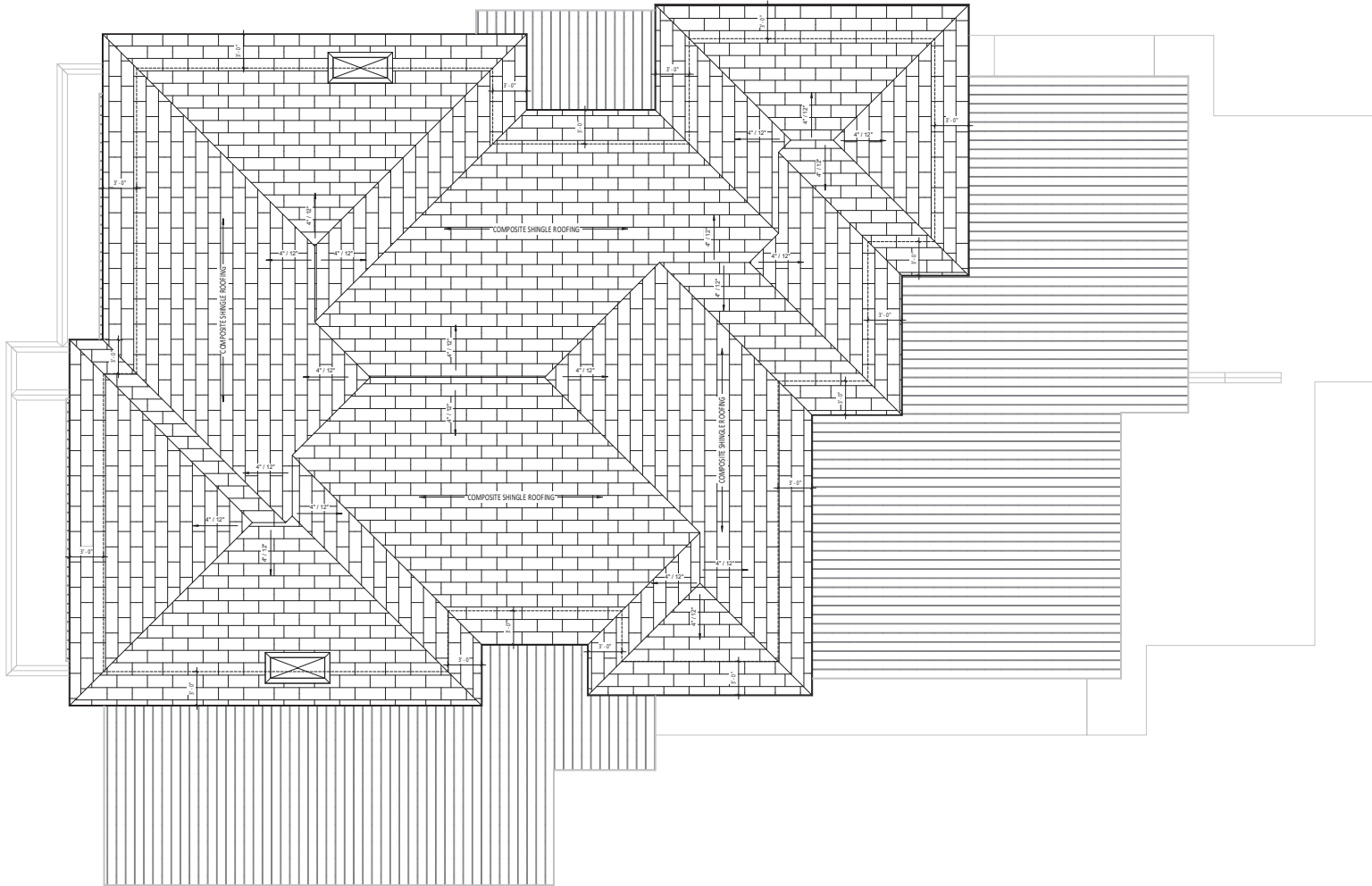
Project No: 18-028
Date: 9/19/2018
Checked By: JK
Drawn By: CS

Sheet Name:
ROOF PLAN_UNIT 3A

Sheet No:

A2.31C

CONCEPT DESIGN PACKAGE



E1 ROOF PLAN_UNIT 3A
A2.31C 1/8" = 1'-0"



Custom Home Concepts







3600 N. Bogus Basin Road

Existing site photos



Bogus Basin and Curling Drive intersection looking north.



Existing access to Bogus Basin, looking south



Property is to the left, Curling Drive, looking east



Property is to the right, Curling Drive, looking west



Existing access drive, looking east



Bogus Basin Road, property is to the left, looking south



Looking south, adjacent property to the west.



Adjacent property to the east, looking northwest at "bomb shelter".

October 30, 2018

Cody Riddle
Current Planning Manager
Planning and Development Services
Boise City Hall – 2nd Floor
150 N. Capitol Blvd
P.O. Box 500
Boise, ID 83701-500

RE: Highlands Heights Subdivision | 3600 N. Bogus Basin Road, Boise, ID
Subdivision, Planned Unit Development, Hillside Development Permits | PN 118010

Dear Mr. Riddle,

We are excited to present the applications associated with the Highland Heights Subdivision, Planned Unit Development, and Hillside Development. The Property is generally located at the northeast corner of the N. Bogus Basin Road and W. Curling Road intersection, specifically 3600 N. Bogus Basin Road. The Land Group, Inc. is pleased to represent the land owner as the applicant/developer for this request.

The property is currently improved as a church building and associated site improvements, the applications are to redevelop the property. The structure is currently vacant as the church has relocated.



Figure 1: Vicinity map & project boundary

The 4.88-acre property consists of one parcel (S0626325910) zoned R-1B in the City of Boise. The property has frontage on W. Curling Drive and N. Bogus Basin Road.

The R-1B zoning designation allows for density up to 4.8 units per acre.

The Highlands Hackberry Subdivision #1 (zoned R-1B) exists to the northeast, Crane Creek Country Club fairway (Zoned R6 in Ada County) to the east; the “bomb shelter” (zoned L-OD) to the south; Curling Drive and Highlands Elementary School to the southwest; N. Bogus Basin Road and a horse-riding arena (zoned A-2) to the west; and the Hackberry Ranch Subdivision No. 2 (zoned R-1A) to the northwest.

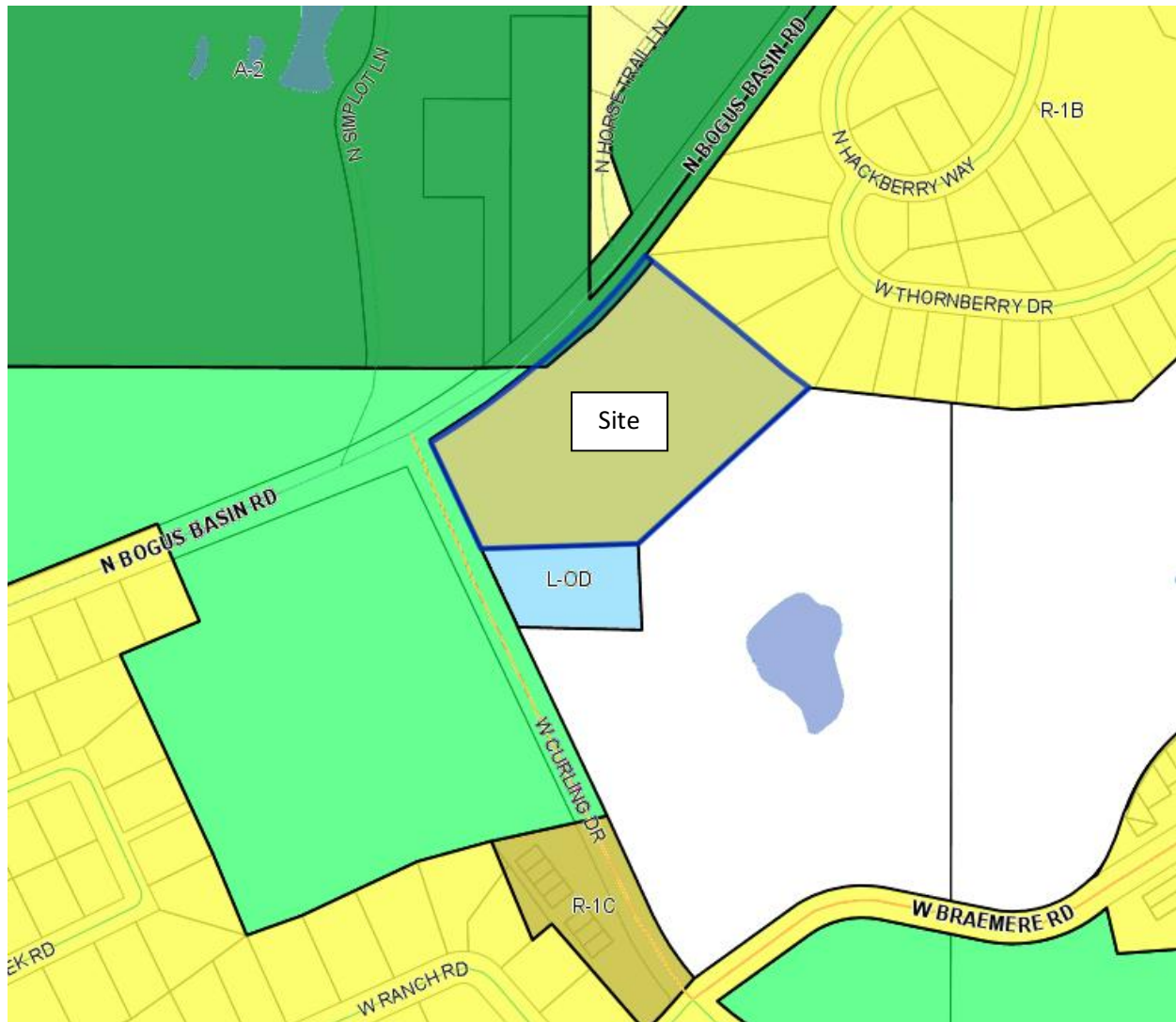


Figure 2: Current zoning map

The Comprehensive Plan designation is Suburban, and the property is within the Foothills Planning Area. The density range of the Suburban designation is between 3-5 units per acre. The R-1B zone is consistent with the Suburban land use designation.

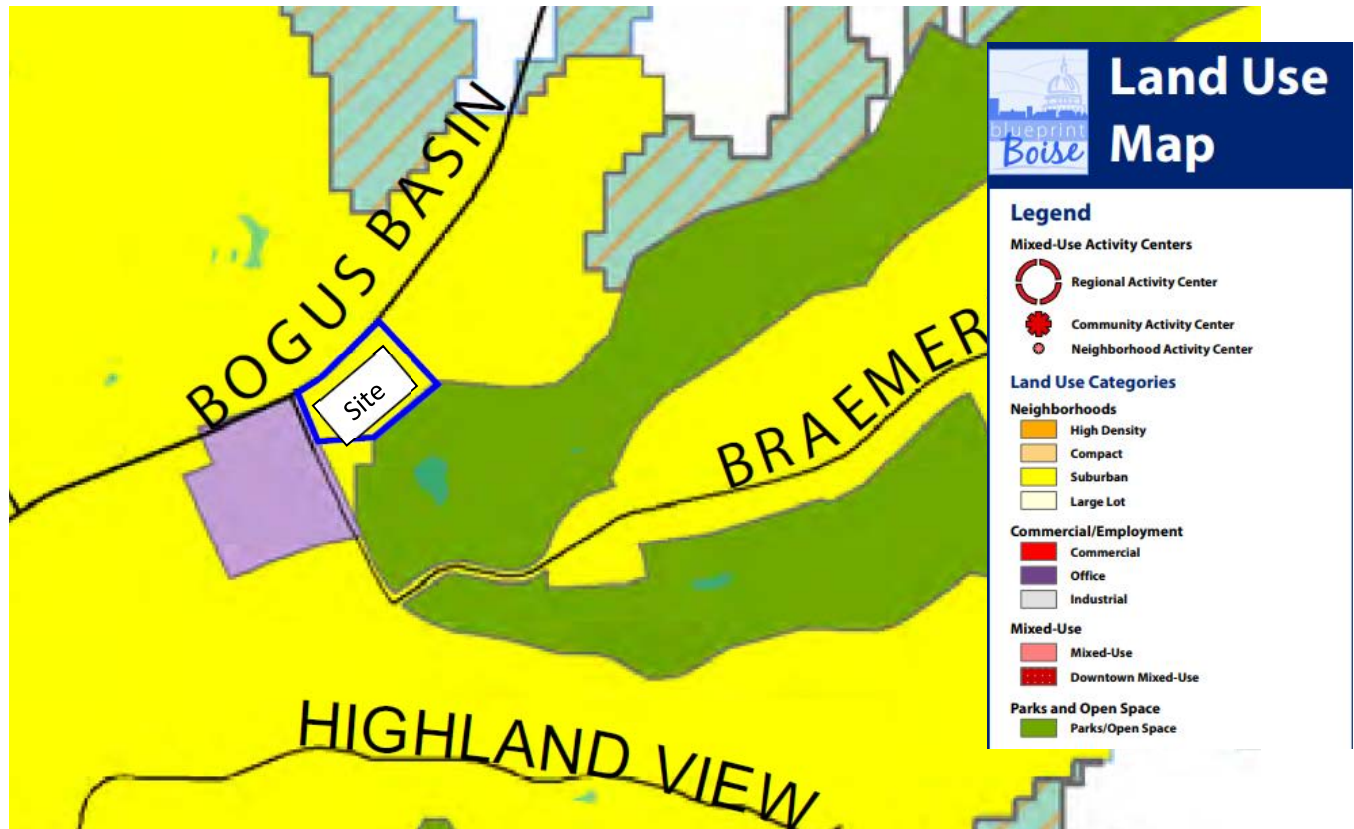


Figure 3: Comprehensive Plan Designation

Subdivision

The project will consist of single-family (attached and detached) residential lots, a private street, associated infrastructure, and common open space lots.

The preliminary plat application, Highlands Heights Subdivision, consists of 21 total lots, including 17 single-family lots, three common lots, and one private street lot on 4.88 acres for an overall density of 3.48 units per acre.

The project will be accessed via one existing access to N Bogus Basin Road. No direct access is requested to Curling Drive.

The private street, Highland Heights Lane meets the findings required by the City of Boise Zoning Code. The private street will provide a safe and effective movement for both vehicular and pedestrian traffic. Due to the adjacent properties already being developed without stub-streets and the topographical constraints, the private street does not interfere with the continuity of public streets.

The attached sidewalk will be continued along the Bogus Basin Road frontage. The sidewalk on Curling exists.

Public utilities are readily available to the property.

The property title included a deed restriction. To release that deed restriction, signatures from three-quarters of the property owners within 500 feet was required. The property owners have worked closely with the neighbors and have obtained the necessary signatures. Do to those individual neighbor meetings, the requirement for a traditional neighborhood meeting was waived.

A homeowners' association will be established.

Planned Unit Development

The Project proposes a high-quality single-family development consisting of both attached and detached residential homes. The Property is currently zoned R-1B in the City of Boise which allows for density up to 4.8 units per acre. The City of Boise Future Land Use designation is Suburban which allows for density between 3-5 units per acre. The proposed development density of 3.48 units per acre is consistent with both the R-1B zoning designation and the Suburban comprehensive plan.

Utility Services are available to serve the Project. City of Boise sewer service is available to the property. Water service is available from Suez. Electric, cable, and phone are available to the site. Storm Water will be retained onsite.

The Project consists of single-family attached townhouses on the public road frontages. 3 – 2 unit townhouses are planned on both N. Bogus Basin Road and W. Curling Drive. The townhouses will take access from the private street, Highlands Heights Lane.

The development intends to fit in with the already established housing developments in the foothills and provide a unique, quality housing option with easy access to downtown Boise while preserving open space. The attached residences are designed in a Modern Prairie Style of Architecture. This style of architecture is noted for its integration with the surrounding landscape, horizontal lines, hipped roofs with broad eaves for protection from the sun and weather. Windows are assembled in horizontal bands, craftsmanship, quality materials and minimal decoration are typical of this style.

The earth toned color palate and use of natural stone help ground the buildings on the site. The project design aims to enhance the surrounding existing neighborhood with both the buildings and site development to create a desirable owner-occupied single-family option within the lower foothills.

The five single-family detached lots are planned as custom-home lots. Concept images are included. The custom-home lots will also be accessed from the private street.

The architectural design concepts enclosed with this package illustrate the intent of building exteriors, interiors, and landscaping. Each townhouse includes a private patio and oversized two car garages.

The amenities provided with this development will include:

- Connection to the existing golf cart path
- Open space with seating area

All open space, common lots, and the private street will be owned and maintained by the homeowners' association.

The PUD requests modifications to the dimensional standards of the R-1B zone. The dimensional standards and setbacks given assume Highlands Heights Lane as the front of each lot.



Specifically:

- The custom home lots will not have public street frontage, but instead private street frontage.
- The building setback from the public streets be a minimum of 15' for both Bogus Basin Road and W. Curling Drive, measured from the right-of-way to the building wall. The setback area will be contained in a common lot and maintained by the HOA.
- The maximum lot coverage and minimum building setbacks be allowed per the concept site plan.
- Landscape retaining walls will be allowed in the building setback.

Hillside Development

A hillside development application is included. The project complies with Hillside, Category III requirements.

The development will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing character of the general vicinity and will enhance, not change, the essential character of the neighborhood.

We appreciate the opportunity to formally present these applications to the City Planning and Zoning Commission and City Council. As you complete your review, please don't hesitate to let me know if we can provide any additional information to clarify the project's vision. I can be reached via email to tamara@thelandgroupinc.com or at 208-939-4041.

Thank you in advance for your consideration and support. We look forward to working with the City of Boise staff to plan a quality project of which we can all be proud.

Sincerely,



Tamara Thompson
Director of Client Services
The Land Group, Inc.

Enclosures – Subdivision, Planned Unit Development, Hillside Development Applications with supporting attachments.



#117 Planned Unit Development

Case #: PUD18-00045

Property Information

Address

Street Number: 3600	Prefix: N	Street Name: BOGUS BASIN RD	Unit #: 			
Subdivision name: SW4 SEC 26 & CTR E POR OF	Block: 0	Lot: 0	Section: 26	Township: 4	Range: 2	Zoning: R-1B
Parcel Number: S0626325910	Additional Parcel Numbers: 					

Primary Contact

Who is responsible for receiving e-mail, uploading files and communicating with Boise City?

Agent/Representative Applicant Owner

Applicant Information

First Name: Brian	Last Name: Naeve		
Company: Alscott Real Estate, LLC			
Address: 501 E Baybrook CT	City: Boise	State: ID	Zip: 83706
E-mail: bnaeve@alscott.com	Phone Number: (208) 424-3871	Cell: 	Fax:

Agent/Representative Information

Role Type: Architect Land Developer Engineer Contractor Other

First Name: Tamara	Last Name: Thompson		
Company: The Land Group, Inc			
Address: 462 E. Shore Drive, Ste 100	City: Boise	State: ID	Zip: 83616
E-mail: tamara@thelandgroupinc.com	Phone Number: (208) 939-4041	Cell: 	Fax:

Owner Information

Same as Applicant? No Yes (If yes, leave this section blank)

First Name: 	Last Name: 		
Company: 			
Address: 	City: 	State: ID	Zip:
E-mail: 	Phone Number: 	Cell: 	Fax:

Project Information

Is this a Modification application? Yes No File number being modified:

1. Neighborhood Meeting Held (Date):

2. Neighborhood Association:

3. Comprehensive Planning Area:

4. This application is a request to construct, add or change the use of the property as follows:

5. Size of Property:
 Acres Square Feet

6. Water Issues:
A. What are you fire flow requirements? (See International Fire Code):
 gpm

B. Number of hydrants (show location on site plan):
Note: Any new hydrants/hydrant piping require Suez Water approval.
Number of Existing: Number of Proposed:

C. Is the building "sprinklered"? Yes No

D. What volume of water is available? (Contact SUEZ (208) 362-7354):
 gpm

7. Existing uses and structures on the property are as follows:

8. Are there any hazards on the property?
(Such as canals, hazardous material spills, soil or water contamination.) If so, describe them and give their locations:

9. Adjacent property information:

	Building types and/or uses	Number of Stories	Zone
North:	<input type="text" value="Highlands Hackb"/>	<input type="text" value="2"/>	<input type="text" value="(R-1B) Single Family Resider"/>
South:	<input type="text" value="Curling Dr, Highl"/>	<input type="text" value="1"/>	<input type="text" value="(A-1) Open Land 1 Acre mini"/>
East:	<input type="text" value="Crane Creek fair"/>	<input type="text" value="0"/>	<input type="text"/>
West:	<input type="text" value="residential"/>	<input type="text" value="2"/>	<input type="text" value="(A-2) Open land 40 Acre mir"/>

10. Non-Residential Structures:

A. Number of **Proposed** non-residential structures:

Square footage of proposed non-residential structures or additions (if 5+ floors, attach narrative with chart):

	Gross Square Feet	Net Leasable Square Feet
1st Floor	<input type="text" value="0"/>	<input type="text" value="0"/>
2nd Floor	<input type="text" value="0"/>	<input type="text" value="0"/>
3rd Floor	<input type="text" value="0"/>	<input type="text" value="0"/>
4th Floor	<input type="text" value="0"/>	<input type="text" value="0"/>

B. Maximum Proposed Height:

C. Number of stories:

D. Number of **EXISTING** non-residential structures to remain:

Square footage of existing non-residential structures or additions (If 5+ floors, attach narrative with chart):

	Gross Square Feet	Net Leasable Square Feet
1st Floor	<input type="text" value="0"/>	<input type="text" value="0"/>
2nd Floor	<input type="text" value="0"/>	<input type="text" value="0"/>
3rd Floor	<input type="text" value="0"/>	<input type="text" value="0"/>
4th Floor	<input type="text" value="0"/>	<input type="text" value="0"/>

E. Existing Structure Height(s):

F. Number of Stories:

11. Residential Structures:

A. Number of **Proposed** residential units (if applicable)::

B. Size of Proposed residential structures (if applicable):

	Number of Units	Square Foot per Unit	Total Square Feet
One-Bedroom:	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="0"/>
Two-Bedroom:	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="0"/>
Three-Bedroom:	<input type="text" value="12"/>	<input type="text" value="3400"/>	<input type="text" value="40800"/>
Other:	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="0"/>
Total Number:	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="0"/>

C. Number of **Existing** units to remain:

D. Maximum Proposed Structure Height(s):

E. Number of Stories:

12.Site Design:

A. Percentage of site devoted to building coverage:

B. Percentage of site devoted to landscaping:

C. Percentage of site devoted to paving:

D. Percentage of site devoted to other uses:

E. Describe other use:

13.Loading Facilities, if proposed (For Commercial uses only):

Number: Location:

Size: Screening:

14.Parking:

A. Handicapped Spaces:

Required	<input type="text"/>	Handicapped Spaces:	<input type="text"/>
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B. Parking Spaces:

Required	<input type="text"/>	Parking Spaces:	<input type="text"/>
-----------------	----------------------	-----------------	----------------------

C. Bicycle Spaces:

Required	<input type="text"/>	Bicycle Spaces:	<input type="text"/>
-----------------	----------------------	-----------------	----------------------

D. Proposed Compact Spaces:

E. Restricted (assigned, garage, reserved spaces) parking spaces proposed:

F. Are you proposing off-site parking? Yes No If yes, how many spaces?

G. Are you requesting shared parking or a parking reduction? Yes No If yes, how many spaces?

Note: If you are requesting shared parking or a parking reduction, you must submit a survey of persons using and working on the premises and any additional information demonstrating that use by the regular employees and visitors to the premises will require fewer off-street parking spaces than required by the Zoning Ordinance.

15.Setbacks (Plans that are not graphically dimensioned will not be accepted.)

	Building		Parking	
	Proposed	Required	Proposed	Required
Front:	<input type="text" value="20"/>	<input type="text" value="20"/>	<input type="text"/>	<input type="text"/>
Rear:	<input type="text" value="0"/>	<input type="text" value="30"/>	<input type="text"/>	<input type="text"/>
Side 1:	<input type="text" value="5"/>	<input type="text" value="10"/>	<input type="text"/>	<input type="text"/>
Side 2:	<input type="text" value="5"/>	<input type="text" value="10"/>	<input type="text"/>	<input type="text"/>

16.Waivers Requested:

A. Lot size: Yes No Description:

B. Internal Setbacks: Yes No Description:

C. Frontage: Yes No Description:

17. Sidewalks:

Proposed: Attached Detached
Adjacent: Attached Detached

18. Amenities:

Number:
Description:

19. Density:

Allowed Density:
Proposed Density:

20. Building Exterior:

	Materials	Colors
Roof:	<input type="text" value="asphalt shingles, metal"/>	<input type="text" value="charcoal, gunmetal"/>
Walls:	<input type="text" value="stone veneer, stucco, fiber ce"/>	<input type="text" value="beige, cedar, brown"/>
Windows/Doors:	<input type="text" value="aluminum clad wood"/>	<input type="text" value="brown"/>
Fascia, Trim etc.:	<input type="text" value="fiber cement"/>	<input type="text" value="brown"/>

21. Drainage (Proposed method of on-site retention):

22. Floodways & Hillside:

- A. Is any portion of this property located in a Floodway or a 100-year Floodplain? Yes No
- B. Does any portion of this parcel have slopes in excess of 15%? Yes No

Note: If the answer to either of the above is yes, you will be required to submit an additional Floodplain and/or Hillside application and additional fee. You must submit the additional required application(s) for review at the same time as this request.

23. Airport Influence Area:

Is the subject site located within the Airport Influence Area? (If yes, please mark which area.)

- No Area A Area B Area B1 Area C

24. Street Layout:

A. PUBLIC Street Layout Review

The impacts of proposed development on adjacent land uses and transportation facilities must be considered. A "Traffic Impact Study" (TIS) will be generally required by the Ada County Highway District, if the proposed development contains no more than 100 dwelling units (includes hotels and motels as well as private dwelling units), more than 30,000 square feet of commercial use, or more than 50,000 square feet of industrial or institutional use, or has associated it with special circumstances deemed by ACHD to warrant an impact study. A copy of this study must be submitted with this application.

Is a Traffic Impact Study required?

Yes No

B. PRIVATE Street Layout Review

The impacts of proposed development on adjacent land uses and transportation facilities must be considered. A "Traffic Impact Study" (TIS) prepared by a traffic engineer will be required by Public Works and Planning & Development Services for the interior roadway and parking system. This requirement may be waived when it can be shown by the applicant that no section of on-site roadway will exceed 240 vehicle trips per day.

Is a Traffic Impact Study required?

Yes No

Are you proposing public street connection to adjacent properties?

Yes No

25. Solid Waste:

A. Type of trash receptacles:

Individual Can/Residential 3 Yd Dumpster 6 Yd Dumpster 8 Yd Dumpster Compactor

B. Number of trash receptacles:

C. Proposed screening method:

D. Is the proposed location accessible for collection? (Contact Boise Public Works at 384-3901.)

Yes No

E. Is recycling proposed?

Yes No

Verification of Legal Lot or Parcel Status

Acceptance of this application does not validate the legal status of any lot or parcel. Prior to submitting for a Building Permit you must have a Verification of Legal Parcel Status form signed by the Boise City Subdivision Department. It is the applicant's responsibility to provide deeds and/or other documentation to the Subdivision Department. See Verification of Legal Lot or Parcel Worksheet for submittal requirements.

The undersigned declares that the above provided information is true and accurate.

The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

Agent/Representative Signature:

Date:

#122 Variance Application

Property Information

Address

Street Number: 3600	Prefix: N	Street Name: BOGUS BASIN RD	Unit #: 			
Subdivision name: SW4 SEC 26 & CTR E POR OF	Block: 0	Lot: 0	Section: 26	Township: 4	Range: 2	Zoning: R-1B
Parcel Number: S0626325910	Additional Parcel Numbers: 					

Primary Contact

Who is responsible for receiving e-mail, uploading files and communicating with Boise City?

Agent/Representative Applicant Owner

Applicant Information

First Name: Tamara	Last Name: Thompson		
Company: The Land Group, Inc			
Address: 462 E. Shore Drive, Ste 100	City: Boise	State: ID	Zip: 83616
E-mail: tamara@thelandgroupinc.com	Phone Number: (208) 939-4041	Cell: 	Fax:

Agent/Representative Information

Role Type: Architect Land Developer Engineer Contractor Other

First Name: Tamara	Last Name: Thompson		
Company: The Land Group, Inc			
Address: 462 E. Shore Drive, Ste 100	City: Boise	State: ID	Zip: 83616
E-mail: tamara@thelandgroupinc.com	Phone Number: (208) 939-4041	Cell: 	Fax:

Owner Information

Same as Applicant? No Yes (If yes, leave this section blank)

First Name: Brian	Last Name: Naeve		
Company: Alscott Real Estate, LLC			
Address: 501 E Baybrook CT	City: Boise	State: ID	Zip: 83706
E-mail: bnaeve@alscott.com	Phone Number: (208) 424-3871	Cell: 	Fax:

1. Neighborhood Meeting Held (Date):

6/1/18

2. Neighborhood Association:

Highlands

3. Comprehensive Planning Area:

Foothills

4. This application is a request to construct, add or change the use of the property as follows:

construct new subdivision

5. Size of Property:

4.88 Acres Square Feet

6. What Ordinance standards are you requesting a variance from:

Chapter 11-07-05, Subsection 4: Retaining Walls - specifically the maximum height of 3' when in a front setback.

7. What special circumstances or conditions apply to the land or use which do not generally apply to other lands or uses in the same zone or vicinity?

The site is bounded on two sides with public streets. Retaining walls provide more stability than the existing slope condition. The (ACHD) approved access on Bogus Basin Road is existing. In order to work within the existing street and sidewalk grades and the existing vehicular access, retaining walls up to 6' are requested in the front and side setbacks. The retaining walls do not encroach into a vision triangle.

8. Why is a variance necessary for the enjoyment of your rights as a property owner?

To work with the existing topography and the existing vehicular access, to balance the cuts and fills on the site.

9. Explain why this variance will not adversely affect the health, safety, or general welfare of the persons residing or working in the vicinity of the property.:

The retaining walls will be designed to be harmonious with the surrounding vicinity. There are no health or safety concerns. The retaining walls are necessary to work with the topography and to provide a better balance between cuts and fills. An engineered retaining wall provides more stability than the existing slope condition.

10. Explain any hardships associated with the property that were not the result of your own actions or were not known to you prior to the purchase or development of the property.:

11. Adjacent property information:

Building types and/or uses	Zone
North: residential	North: (R-1B) Single Family Residential
South: Elementary Scho	South: (A-1) Open Land 1 Acre minimum lot
East: golf course, bom	East: (L-OD) Limited Office with Design Re
West: residential	West: (A-2) Open land 40 Acre minimum lo

12. Any additional comments?

The golf course is zoned R6.

The undersigned declares that the above provided information is true and accurate. The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

#114 Hillside & Foothill Development Application

Case #: CFH18-00108

Property Information

Address

Street Number: 3600	Prefix: N	Street Name: BOGUS BASIN RD	Unit #: 			
Subdivision name: SW4 SEC 26 & CTR E POR OF	Block: 0	Lot: 0	Section: 26	Township: 4	Range: 2	Zoning: R-1B
Parcel Number: S0626325910	Additional Parcel Numbers: 					

Primary Contact

Who is responsible for receiving e-mail, uploading files and communicating with Boise City?

Applicant Owner

Applicant Information

First Name: Tamara	Last Name: Thompson		
Company: The Land Group, Inc			
Address: 462 E. Shore Drive, Ste 100	City: Boise	State: ID	Zip: 83616
E-mail: tamara@thelandgroupinc.com	Phone Number: (208) 939-4041	Cell: 	Fax:

Owner Information

Same as Applicant? No Yes (If yes, leave this section blank)

First Name: Brian	Last Name: Naeve		
Company: Alscott Real Estate, LLC			
Address: 501 E Baybrook CT	City: Boise	State: ID	Zip: 83706
E-mail: bnaeve@alscott.com	Phone Number: (208) 424-3871	Cell: 	Fax:

The undersigned declares that the above provided information is true and accurate.
The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

Agent/Representative Signature: _____
Date: _____

#201 Subdivision

Case #: SUB18-00059

Property Information

Address

Street Number: 3600	Prefix: N	Street Name: BOGUS BASIN RD	Unit #: 			
Subdivision name: SW4 SEC 26 & CTR E POR OF	Block: 0	Lot: 0	Section: 26	Township: 4	Range: 2	Zoning: R-1B
Parcel Number: S0626325910	Additional Parcel Numbers: 					

Primary Contact

Who is responsible for receiving e-mail, uploading files and communicating with Boise City?

Agent/Representative Applicant Owner

Applicant Information

First Name: Brian	Last Name: Naeve		
Company: Alscott Real Estate, LLC			
Address: 501 E Baybrook CT	City: Boise	State: ID	Zip: 83706
E-mail: bnaeve@alscott.com	Phone Number: (208) 424-3871	Cell: 	Fax:

Agent/Representative Information

Role Type: Architect Land Developer Engineer Contractor Other

First Name: Tamara	Last Name: Thompson		
Company: The Land Group, Inc			
Address: 462 E. Shore Drive, Ste 100	City: Boise	State: ID	Zip: 83616
E-mail: tamara@thelandgroupinc.com	Phone Number: (208) 939-4041	Cell: 	Fax:

Owner Information

Same as Applicant? No Yes (If yes, leave this section blank)

First Name: 	Last Name: 		
Company: 			
Address: 	City: 	State: ID	Zip:
E-mail: 	Phone Number: 	Cell: 	Fax:

1. Type of Application:

Preliminary Final Preliminary/Final

2. Proposed Subdivision/Condominium Name:

Highlands Heights Subdivision

Note: Must be approved by the Ada County Surveyor.

3. Cross Reference Files:

Please list all previously approved or currently associated file(s):

CUP and Hillside

4. Subdivision/Condominium Features:

Number of buildable lots/units: Buildable lots/units per acre:
Number of common lots/units: Zoning Classification:
Total acres in subdivision:

5. Building Program:

Number of Existing Buildings: Number of Existing Buildings to Remain:

Type of Existing Buildings: Residential Commercial Industrial Mixed Use

If Residential What Type? Single Family Townhouse Duplex Multi-Family

Type of Proposed Buildings: Residential Commercial Industrial Mixed Use

If Residential What Type? Single Family Townhouse Duplex Multi-Family

6. Waivers or Modifications:

Are any waivers/modifications being requested from the Subdivision Ordinance? Yes No

If yes, please include a detailed explanation in your letter.
An additional waiver/modification review fee must be paid at the time of submittal.

7. Private Streets:

Are private streets proposed? Yes No

If yes, please provide justification in the letter of explanation.
An additional private street review fee must be paid at the time of submittal.

8. Public Streets:

Number of new public streets proposed:

9. Floodways & Hillside:

Is any portion of this property located in a Floodway or a 100-year Floodplain? Yes No

Does any portion of this parcel have slopes in excess of 15%? Yes No

Note: If the answer to either of the above is yes, you will be required to submit an additional #112 Floodplain and/or #114 Hillside application and additional fee.

11. Airport Influence Area:

Is the subject site located within the Airport Influence Area? (If yes, please mark which area.)

No Area A Area B Area B1 Area C

The undersigned declares that the above provided information is true and accurate.
The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

Agent/Representative Signature:

Date:



PLANNING AND DEVELOPMENT SERVICES

MAYOR: David H. Bieter | INTERIM DIRECTOR: Jason Blais

Planning Division Project Report

File Number	PUD18-00045, CVA18-00077, CFH18-00108 & SUB18-00059
Applicant	The Land Group, Inc.
Property Address	3600 N. Bogus Basin Road
Public Work Session Date	November 29, 2018
Public Hearing Date	February 4, 2019
Heard by	Planning and Zoning Commission
Analyst	Brent Moore, Associate Planner
Reviewed By	Céline Acord, Current Planning Manager

Public Notification

Radius notices mailed to properties within 500 feet on:	December 21, 2018
Newspaper notification published on:	December 22, 2018
Hillside Work Session conducted on:	November 29, 2018
Staff posted notice on site on:	January 24, 2019

Table of Contents

1. Project Data and Facts.....	2
2. Land Use.....	2
3. Project Proposal.....	3
4. Development Code.....	4
5. Comprehensive Plan.....	4
6. Transportation Data.....	5
7. Analysis.....	5
8. Approval Criteria.....	8
9. Recommended Conditions of Approval.....	12

Exhibits

[Agency Comments](#)

1. Project Data and Facts

Project Data	
Applicant	Brian Naeve / Alscott Real Estate, LLC
Agent/Representative	Tamara Thompson / The Land Group, Inc.
Location of Property	3600 N. Bogus Basin Road
Size of Property	4.98 Acres
Zoning	R-1B (Single Family Residential)
Land Use Designation	Suburban
Planning Area	Foothills
Neighborhood Assoc./Contact	Highlands / Jeff Bradley
Procedure	The Planning and Zoning Commission is a recommending body on the Subdivision and renders a final decision on the Planned Unit Development, Variance and Hillside Development permits.

Current Land Use
The property currently contains an 8,400 square foot church.

Description of Applicant's Request
A planned unit development, hillside permit and preliminary plat for a seventeen-home residential subdivision. A variance to the retaining wall height requirements is also included.

2. Land Use

Description and Character of Surrounding Area
The property is located along the east side of Bogus Basin Road, approximately one mile north of Hill Road. It is surrounded by a variety of uses including an elementary school to the west, detached single-family homes to the north, a golf course to the east and a small commercial property to the south.

Adjacent Land Uses and Zoning

North	Single Family Residential / R-1B & A-2 (Open Land Reserve)
South	Office/Commercial / L-OD (Limited Office with Design Review)
East	Golf Course / R6 (Ada County – Medium Density Residential)
West	Highlands Elementary School / A-1 (Open Land Very Low Density)



3. Project Proposal

Structure(s) Design

Number and Proposed Use of Buildings
Twelve townhomes and five detached single-family homes
Number of Stories & Height
The townhomes will have two stories and will be 28' tall (24' to the mid-line of the roof). The single-family homes will need to meet the height requirements of the R-1B zone.
Amenities
The applicant proposes to place four benches within a landscaped common area on the north end of the property and provide a pedestrian pathway to the golf course located east of the site. The site is also located across the street from Highlands Elementary School which has a playground and large outdoor play area available to the public during non-school hours.

Setbacks (Exterior)

Yard	Building		Parking	
	Required	Proposed	Required	Proposed
Front (Bogus Basin Road)	10'	17'	20'	87'
Front (Curling Drive)	10'	14'	20'	85'
Side (north)	10'	118'	10'	153'
Side (south)	10'	4'*	10'	50'
Rear (east)	30'	280'	30'	265'

*A condition of approval will require a 10' building setback along the south property line.

Interior side setbacks of 0' are proposed between the townhomes as part of the planned unit development. The single-family homes to be constructed on Lots 8-12 will be required to meet the standard setback requirements of the R-1B zone.

Parking

Each townhome will include a two-car garage and each detached single-family home will be required to provide two off-street parking spaces.



4. Development Code

Section	Description
11-03-04.4	Subdivision Plat Specific Procedures
11-03-04.7	Planned Unit Development Specific Procedures
11-03-04.17	Hillside Development Permits Specific Procedures
11-03-04.14	Variance Procedures
11-04-03	General Purpose of Residential Districts
11-07-06.05	Planned Unit Development Standards
11-07-08	Hillside and Foothills Development Standards
11-09-03	Subdivision Design Standards

5. Comprehensive Plan

Blueprint Boise	Goals, Objectives & Policies
Chapter 2: Citywide Vision & Policies	Goal NAC7: Facilitate a Mix of Housing Types
	Goal CC1.1: Reduce Vehicle Miles Traveled
Chapter 3: Community Structure & Design	Suburban Land Use Category
	Principle GDP-N.2: Access to Parks and Open Space
	Principle GDP-N.3: Mix of Housing Types
	Principle GDP-N.5: Pedestrian-Oriented Streetscapes
	Principle GDP-N.7: Garage Placement
Chapter 4: Planning Area Policies	Principle GDP-N.10: Cluster Development
	Goal FH-CCN 2.1: Compatibility of Uses
	Goal FH-CCN 2.3: Mix of Housing Types
	Goal FH-CCN 3.2: Cluster Development
Highlands Neighborhood Plan	Goal FH-CCN 3.3: Common Open Space
	Goal 1, Objective 2, Policy 5
	Mixture of Housing Units of Varied Densities
Goal 1, Objective 3, Policy 1	Attractive Environment Along Bogus Basin Road



6. Transportation Data

Roadway	Frontage	Functional Classification	PM Peak Traffic Count	Level of Service*
Bogus Basin Road	530'	Minor Arterial	200	Better than "E"
Curling Drive	220'	Collector	160	Better than "E"

*Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

*Acceptable level of service for a two-lane collector is "D" (425 VPH).

This development is estimated to generate 160 vehicle trips per day and seventeen vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 10th edition. ACHD (Ada County Highway District) approved the project as proposed and noted that they will be widening Bogus Basin Road adjacent to the site and adding curb, gutter and attached 6' wide sidewalk in 2019. ACHD stated that they would take care of all of the improvements if the applicant dedicates the required right-of-way and provides the necessary easements prior to December 31, 2018. Otherwise, the applicant will be responsible for the improvements.

7. Analysis

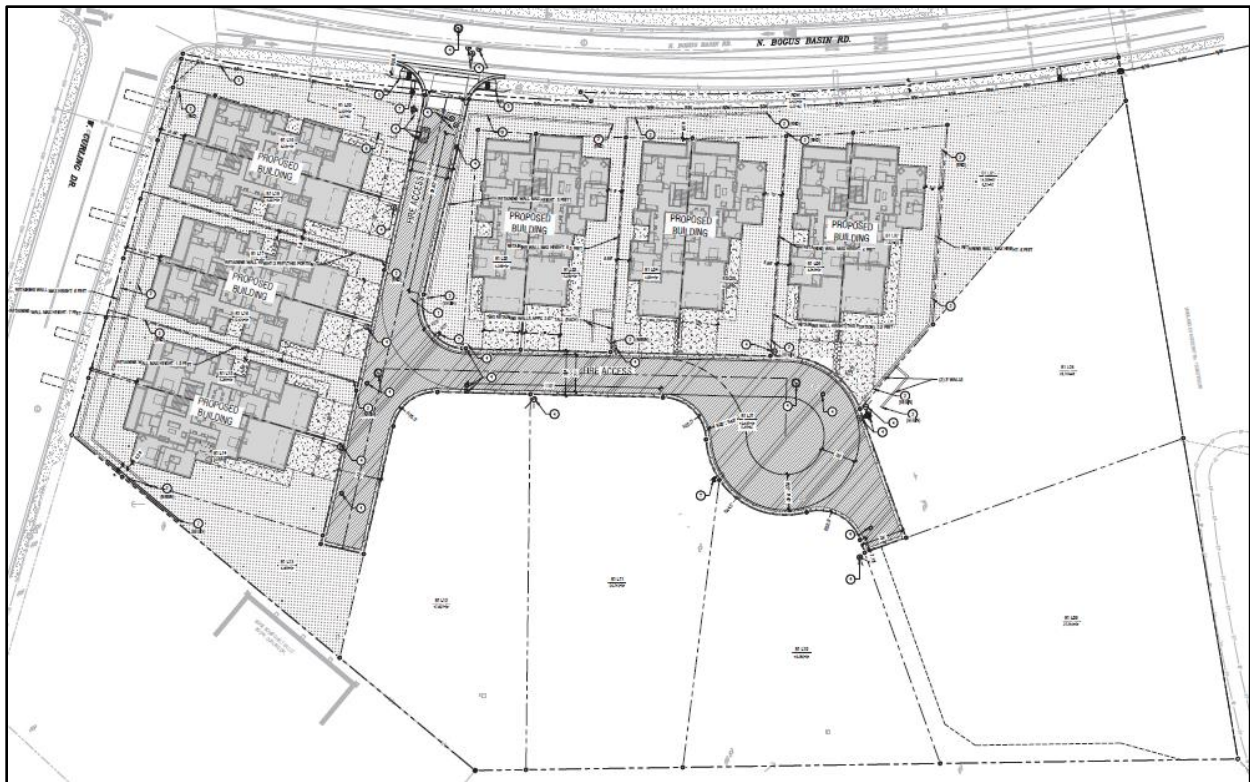


Aerial Map



Planned Unit Development

The applicant proposes a seventeen-unit planned residential development comprised of twelve townhomes and five detached single-family homes. The twelve townhomes will front onto the adjacent roadways, while the five detached single-family homes will be located along the north and east property lines. Each of the five detached single-family homes will need to be approved individually through a separate Category II Hillside application. All seventeen units will take access from a new 25' wide private road coming off Bogus Basin Road which will terminate in a 45' radius cul-de-sac. A private road has been proposed as no new opportunities for street connections to adjacent properties exist. While the applicant is not proposing to install sidewalk along the private road, a recommended condition of approval will require 5' wide sidewalk be installed along both sides of the private road in order to provide safe pedestrian access to the future residents. The Planning Team finds the installation of sidewalk to be especially important at this location as there is an elementary school located across the street from the property. Trees will be planted along Bogus Basin Road and within landscaped common lots located on the north and south ends of the development. New sidewalk will be installed by ACHD along Bogus Basin Road where it abuts the site in 2019.



Site Plan



Variance

The applicant requests a variance to the requirement that retaining walls not exceed a height of 3' within front yard setbacks. Retaining walls up to 6' high are proposed within front yard setbacks along Curling Drive and Bogus Basin Road in order to prevent erosion and provide greater soil stability along the adjacent roadways. The Planning Team finds the property's steep slope along Bogus Basin Road and Curling Drive constitute a hardship which justifies the proposed variance, and that the installation of the proposed retaining walls will provide greater stability to the hillside than currently exists.

Hillside Grading

The grading plan proposes up to 20' and 39,000 cubic yards of cut, and 14' and 8,000 cubic yards of fill in order to accommodate the development of the proposed townhomes and private road. The private road will comply with the requirements of ACHD and the Boise City Fire Department as it will have a grade of 10% or less, and the emergency turn-around portion will have a grade of less than 1%. Several retaining walls, located primarily along Bogus Basin Road and Curling Drive, are proposed as part of the grading plan to mitigate the downward slope of the property towards these roadways. While the proposed grading plan will accommodate the building pads for the twelve townhomes and the private road, separate Category II Hillside applications will be required for each of the five single-family homes at the time they are developed. The applicant has not included building pad sites for the single-family homes at this time in order to allow flexibility in the future location of homes on these lots in the future. All drainage will be piped to an onsite retention facility located at the low point of the site near the northwest corner of the property. As conditioned, the Boise City Public Works Department has found the proposed grading plan for this development to be in compliance with the Hillside and Foothills Areas Development Ordinance.

Amenities

The applicant proposes to place four benches within a landscaped common area on the north end of the property and provide a pedestrian pathway to the golf course located east of the site. The site is also located across the street from Highlands Elementary School which has a playground and large outdoor play area available to the public during non-school hours.

Connectivity

All of the homes will be accessed from a 25' wide private road off Bogus Basin Road which will terminate in a 45' radius cul-de-sac. No opportunities for new street connections exist as developed properties abut the site to the north, east and south. No connection to Curling Drive is proposed due to the steep slope of the property along Curling Drive, and due to the proximity of the Curling Drive frontage to Bogus Basin Road and the Highlands Elementary School entrance. Existing 5' wide sidewalk abuts the site along Curling Drive and 6' wide attached sidewalk will be installed by ACHD along Bogus Basin Road where it abuts the site as part of a previously programmed project.



Due to the steep slopes along Bogus Basin Road, ACHD proposes attached sidewalk in order to minimize hillside disturbance. A paved 8' wide pedestrian and golf cart path will be provided on the northeast corner of the site in order to allow residents access to the Crane Creek Country Club, which abuts the site to the east. A condition of approval will require 5' wide sidewalk be installed along both sides of the private road.

8. Approval Criteria

Planned Unit Development (11-03-04.07(C7))

i. The location is compatible to other uses in the general neighborhood;

The proposed development is compatible with the general neighborhood as other residential properties are located in the vicinity, and it will include a density of only 3.4 units per acre in a zone which allows up to 4.8 units per acre. The proposed density is supported by the property's location at the intersection of an arterial and collector roadway. The site design will be compatible with surrounding properties as the denser townhome units will front onto the adjacent roadways while detached single-family homes will abut the adjacent properties to the north and east. The development will improve connectivity as sidewalk will be provided along Bogus Basin Road, and a pedestrian access will be provided from the development to the golf course to the east. A recommended condition of approval will require 5' wide sidewalk be installed along both sides of the private road in order to improve pedestrian safety.

ii. The proposed use will not place an undue burden on transportation and other public facilities in the vicinity;

Correspondence received from commenting agencies confirm the proposed use will not place an undue burden on the transportation system or other services in the vicinity. ACHD approved the project as they found the surrounding roadways would continue to operate at an acceptable level of service.

iii. The site is large enough to accommodate the proposed use and all yards, open spaces, pathways, walls, fences, parking, loading, landscaping, and such other features as are required by this Code;

The site is large enough to accommodate the use as the R-1B zone allows a density of up to 4.8 units per acre, and a density of only 3.4 units per acre is proposed. The development complies with the parking requirements of the Code as each home will include two-off street parking spaces and driveway aprons to accommodate additional parking.



As conditioned the development will comply with all exterior setbacks. Due to the slope of the property along Bogus Basin Road and Curling Drive, a variance has been requested to the retaining wall height requirement within the front yard setbacks. Also included are reductions to the landscape buffers along Bogus Basin Road and Curling Drive in order to minimize overall site grading. While a 30' wide landscape buffer is required along arterial roadways, the applicant proposes a landscape buffer ranging in width from approximately 21' to 34' along Bogus Basin Road. Additionally, a 20' wide landscape buffer is required along collector roadways and the applicant is proposing a landscape buffer ranging in width from approximately 4' to 10' along Curling Drive. Trees will be planted along Bogus Basin Road, within common areas and along the entrance to the private road, while a waiver to the street tree requirement along Curling Drive is requested as the installation of retaining walls at this location would not allow room for the planting of trees.

iv. The proposed use, if it complies with all conditions imposed, will not adversely affect other property of the vicinity;

The proposed development will not adversely affect other property in the vicinity. As conditioned, it will comply with all required density, height, parking, and exterior setback requirements of the Code. The twelve townhomes proposed along Bogus Basin Road and Curling Drive will be only two stories high, and the five single-family homes to be constructed on the back of the site will be required to comply with the 35' height limit of the R-1B zone. The proposed development will not adversely affect adjacent properties as the site is surrounded by a golf course to the east, a commercial property to the south, and an elementary school to the west across Curling Drive. The residential neighborhood that abuts the site to the northeast will not be adversely impacted as it is located at a significantly higher elevation than the subject property. As all access to the site will be taken directly from Bogus Basin Road, the development will not negatively impact traffic on local residential roadways.

v. The proposed use is in compliance with the Comprehensive Plan.

The proposed project is in compliance with the Comprehensive Plan. The property is designated as 'Suburban' on the Land Use Map within which detached and attached single-family homes are listed as the primary use, and a target density of between 3-5 units per acre is listed. The proposed development will include twelve attached townhomes and five detached single-family homes at a density of 3.4 units per acre. The proposed townhomes also comply with *Goals NAC7, FH-CCN 2.3* and *Principle GDP-N.3* which encourage a mix of housing types as the area is primarily comprised of detached single-family homes.



The proposed pedestrian and golf cart path connecting to the Crane Creek Country Club complies with *Principle GDP-N.2* which encourages access to parks and open space amenities, and the proposal to include four benches within a landscaped common lot on the north end of the property complies with *Goal FH-CCN 3.3* which encourages common open space to be included in developments within the Foothills Planning Area. The proposed development also complies with the *Highlands Neighborhood Plan* as *Goal 1, Objective 2* calls for the upper Highlands Neighborhood to be primarily residential and for the residential development in the Highlands Neighborhood to include a mixture of architectural styles and housing units of varying densities. The development also complies with *Goal 1, Objective 3* which encourages a safe, attractive environment along Bogus Basin Road. Sidewalk will be provided along Bogus Basin Road adjacent to the project to improve safety, and the townhomes fronting onto Bogus Basin Road will provide an attractive environment as they will include modulated facades and rooflines and be constructed of a variety of building materials.

Variance (11-03-04.14 (C7b))

- i. There is either a hardship associated with the property itself or an exceptional circumstance relating to the intended use of the property that is not generally applicable in the district;***

The steep slope of the property along Bogus Basin Road and Curling Drive constitutes a hardship to justify the proposed variance. While the Code limits retaining walls to a height of 3' within front yard setbacks, retaining walls up to 6' high are necessary to stabilize the site and prevent erosion onto the adjacent sidewalks.

- ii. Granting the variance will not be in conflict with the Comprehensive Plan and will not affect a change in zoning; and,***

The proposed variance would not be in conflict with the Comprehensive Plan as *Goal FH-CCN 5.6* calls for retaining walls to be designed and engineered to hold the loads placed upon them, and retaining wall up to 6' tall will be necessary along Bogus Basin Road and Curling Drive to hold the required loads.

- iii. Granting of the variance will not be materially detrimental to the public health, safety, or welfare, or injurious to the property or improvements of other property owners, or the quiet enjoyment thereof.***

Granting of the variance will not be materially detrimental to the public health, safety, or welfare. The proposed retaining walls will benefit public health by preventing soil erosion and providing greater soil stability along adjacent roadways than currently exists.



Hillside Development (Section 11-03-04.17 (B7))

- a. ***The proposed development is in compliance with the technical requirements of Section 11-07-08 including those related to grading, drainage, hazardous areas, revegetation, preservation of outstanding and unique features.***

The project complies with the technical requirements of the Hillside Ordinance and the Foothills Area Development Ordinance, including those related to grading, drainage, hazardous areas, revegetation, and preservation of outstanding and unique features. The engineering analysis provided by the applicant and reviewed by the Boise City Public Work Department demonstrates the land is capable of the volume and type of development proposed. The project site does not include any lands within the floodway or floodplain. Furthermore, comments received from City agencies confirm the project will not create hazards related to soil instability or fire.

- b. ***The proposed development, if it complies with all conditions imposed, will not adversely affect other property in the vicinity.***

Public Works review of the application confirms that, as conditioned, the development will not adversely affect other property in the vicinity.

- c. ***The land itself is capable of the volume and type of development proposed as determined by geological, hydrological and soils engineering analysis.***

Public Works review of the geotechnical information confirms the land is capable of the volume and type of development proposed as determined by the geological, hydrological and soils engineering analysis.

- d. ***The project does not create a potential hazard of flooding, soil instability, fire, erosion, etc.***

Correspondence received from commenting agencies confirm the project will not create a potential hazard of flooding, soil instability, fire, or erosion. The subject property is not located in a floodplain or floodway.

- e. ***The proposal complies with all requirements of the Zoning Ordinance for foothills gulches including the requirements of Section 11-07-08 and the Floodway and Floodplain Ordinance.***

The site does not include foothills gulches, nor is it encumbered by the Floodway or Floodplain.



9. Recommended Conditions of Approval

Site Specific

1. Compliance with the plans and specifications submitted to and on file in the Planning and Development Services Department date received **October 31, 2018**, except as expressly modified by the following conditions:
2. The home on Lot 14 shall be setback a minimum of 10' from the south property line.
3. The home on Lot 19 shall not encroach into Lot 20.
4. Five-foot wide sidewalk shall be provided along both sides of the private road.
5. Retaining walls up to 6' high are allowed within the front yard setbacks.
6. The following notes shall be placed on the face of the Final Plat stating:
 - a. The development of this property shall be in compliance with the Boise Development Code or as specifically approved by PUD18-00045, CVA18-00077, CFH18-00108 and SUB18-00059.
 - b. Minimum building setbacks shall be in accordance with the City of Boise applicable zoning and subdivision regulations at the time of issuance of individual building permits.
 - c. This development is subject to the Covenants, Conditions, and Restrictions (CC&R's) that pertain to this development, to be filed and recorded in the Ada County Recorder's Office.
 - d. Individual lot development shall comply with the Boise Hillside and Foothills Development Ordinance (B.C.C. 11-07-08 through 11-07-09), International Building Code, Chapter 18 and Appendix J as modified by B.C.C. 4-02 and the conditions of approval for CFH18-00029.



Agency Requirements

7. The applicant shall comply with the requirements of the following agencies as identified in their submitted memos:
 - a. Ada County Highway District (**December 10, 2018**);
 - b. Boise School District (**December 19, 2018**);
 - c. Boise City Building Department (**November 8, 2018**);

8. The applicant shall comply with the requirements of the Boise City Public Works Department (BCPW). The following is a list of department comments by division:
 - a. Engineering (**January 25, 2019**);
 - b. Grading, Drainage & Hillside (**November 9, 2018**);
 - c. Sewer & Irrigation (**November 2, 2018**);
 - d. Solid Waste (**November 5, 2018**);
 - e. Street Lights (**November 1, 2018**).

Please contact BCPW at 208-608-7150. All items required by BCPW shall be included on the plans/specifications that are submitted for a Building Permit. Please note that any changes or modifications by the owner to the approved plans must be submitted to the Public Works Department for approval.

9. The applicant shall comply with all requirements of the Boise Fire Department from the memo dated **December 12, 2018**. Any deviation from this plan is subject to Fire Department approval. For additional information, contact Ron Johnson at 208-570-6500.

Subdivision

10. A note on the face of the Final Plat shall designate that any Common Lots shall be owned and maintained by the Homeowner's Association. These lots cannot be developed for residential purposes in the future. The common lots shall be designated by Lot and Block.



11. The Mylar shall include the following endorsements or certifications (*I.C. Title 50, Chapter 13*). These must be executed prior to submitting the Final Plat for recording with the Ada County Recorder's Office.
 - a. Signatures of owners or dedicators,
 - b. Certificate of the Surveyor,
 - c. Certificate of the Central District Health Department,
 - d. Acceptance of the Commissioners of the Ada County Highway District,
 - e. Certificate of the Boise City Engineer,
 - f. Certificate of the Boise City Clerk,
 - g. Certificate of the Ada County Surveyor, and
 - h. Signature of the Ada County Treasurer.
12. A subdivision name shall be reserved by the Ada County Surveyor. The name shall not be changed unless there is a change in ownership, at which time, the new owner(s) shall submit the new name to the Ada County Surveyor for review and reservation. Should a change in name occur the applicant shall submit, in writing from the Ada County Surveyor, the new name to the Planning and Development Services Department and re-approval by the Council of the "Revised" Final Plat shall be required. The developer and/or owner shall submit all items including fees, as required by the Planning and Development Services Department, prior to scheduling the "Revised" Final Plat for public hearing.
13. Correct street names as approved by the Ada County Street Name Committee shall be placed on the plat (*B.C.C. 11-09-03.4E*).
14. A letter of acceptance for water service from the utility providing same is required (*B.C.C. 11-09-04.3*).
15. Developer shall provide utility easements as required by the public utility providing service (*B.C.C. 11-09-03.6*).
16. Developer shall provide a letter from the United States Postal Service stating, "The Developer and/or Owner has received approval for location of mailboxes by the United States Postal Service."

Contact: Postmaster
770 S. 13th Street
Boise, ID 83708-0100
Phone: (208) 433-4301

17. A letter from the appropriate school district is required stating, "The Developer has made arrangements to comply with all requirements of the School District."



18. The developer shall make arrangements to comply with all requirements of the Boise City Fire Department and verify in one of the following ways:
 - a. A letter from the Boise City Fire Department stating that all conditions for water, access, and/or other requirements have been satisfied,
 - b. A non-build agreement has been executed and recorded with a note on the face of the Final Plat identifying the instrument number.

NOTE: "No Parking" signs shall be installed in accordance with the requirements of the International Fire Code (BCC 7-0-32, IFC 503.8). Contact the Boise City Fire Department for sign placement and spacing. Developer may either construct prior to final platting or post bond in the amount of 110% of the estimated costs with the Boise City Planning and Development Services Department.

19. Covenants, homeowners' association by-laws or other similar deed restrictions, which provide for the use, control and maintenance of all common areas, storage facilities, recreational facilities or open spaces, shall be reviewed and approved by the Boise City Attorney. After recordation of the Final Plat and CC&R's, no building permit shall be accepted until a copy of the recorded CC&R's has been submitted to the Boise City Attorney.
20. Prior to the City Engineer's Certification of the Final Plat and prior to earth disturbing activities, an erosion and sediment control (ESC) permit must be obtained. An ESC plan conforming to the requirements B.C.C. 8-17, is to be submitted to the Erosion Control Program Manager for review and approval. No grading or earth disturbing activities may start until an approved ESC permit has been issued.
21. Prior to submitting the Mylar of the Final Plat to Boise City, all the conditions of approval must be satisfied. Approvals must be provided on agency letterhead.
22. Prior to submitting the Mylar of the Final Plat to Boise City, the following endorsements or certifications and must be executed:
 - a. Signatures of owners or dedicators,
 - b. Certificate of the Surveyor,
 - c. Certificate of the Central District Health Department,
 - d. Acceptance of the Commissioners of the Ada County Highway District.



23. Developer shall comply with *B.C.C. 11-03-04.4* which specifies the limitation on time for filing and obtaining certification. Certification by the Boise City Engineer shall be made within two years from date of approval of the Final Plat by the Boise City Council.
- a. The developer may submit a request for a time extension, including the appropriate fee, to the Boise City Planning and Development Services Department for processing. Boise City Council may grant time extensions for a period not to exceed one year provided the request is filed, in writing, at least 20 working days prior to the expiration of the first two-year period, or expiration date established thereafter.
 - b. If a time extension is granted, the Boise City Council reserves the right to modify and/or add condition(s) to the original Preliminary or Final Plat to conform with adopted policies and/or ordinance changes.
 - c. The Final Plat shall be recorded with the Ada County Recorder within one year from the date of the Boise City Engineer's signature. If the Final Plat is not recorded within the one-year time frame it shall be deemed null and void.
24. No Building Permit for the construction of any new structure shall be accepted until the Final Plat has been recorded pursuant to the requirements of *B.C.C. 11-09-04.1*.
25. An individual who has attended the Boise City Responsible Person (RP) Certification class, or has obtained Interim Certification for RP shall be identified for this project. A permit will not be issued until such time as the name and certification number of the RP has been provided to Boise City.

Standard Conditions of Approval

26. This approval does not exempt the applicant from compliance with all local, state, and federal regulations where applicable by law or judicial decision.
27. Vision Triangles, as defined under *B.C.C. 11-012-03*, shall remain clear of sight obstructions.
28. All landscaping areas shall be provided with an underground irrigation system. Landscaping shall be maintained according to current accepted industry standards to promote good plant health, and any dead or diseased plants shall be replaced. All landscape areas with shrubs shall have approved mulch such as bark or soil aid.

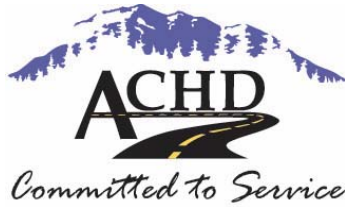


29. Swales/retention/detention areas shall not be located along the streets, unless it can be shown that landscaped berms/shrubs will screen the swales.
30. In compliance with City Code, anyone planting, pruning, removing or trenching/excavating near any tree(s) on ACHD or State right-of-ways must obtain a permit from Boise City Community Forestry at least one (1) week in advance of such work by calling 208-608-7700. Species shall be selected from the Boise City Tree Selection Guide.
31. Deciduous trees shall be not less than 2" to 2 1/2" inch caliper size at the time of planting, evergreen trees 5' to 6' in height, and shrubs 1 to 5 gallons, as approved by staff. All plants are to conform to the American Association of Nurseryman Standards in terms of size and quality.
32. Any outside lighting shall be reflected away from adjacent property and streets. The illumination level of all light fixtures shall not exceed two (2) footcandles as measured one (1) foot above the ground at property lines shared with residentially zoned or used parcels.
33. No change in the terms and conditions of this approval shall be valid unless in writing and signed by the applicant or his authorized representative and an authorized representative of Boise City. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon Boise City.
34. An Occupancy Permit will not be issued by the Planning and Development Services Department until all of these conditions have been met. In the event a condition(s) cannot be met by the desired date of occupancy, the Planning Director will determine whether the condition(s) is bondable or should be completed, and if determined to be bondable, a bond or other surety acceptable to Boise City will be required in the amount of 110% of the value of the condition(s) that is incomplete.
35. Any change by the applicant in the planned use of the property, which is the subject of this application, shall require the applicant to comply with all rules, regulations, ordinances, plans, or other regulatory and legal restrictions in force at the time the applicant, or successors of interest, advise Boise City of intent to change the planned use of the property described herein, unless a variance in said requirements or other legal relief is granted pursuant to the law in effect at the time the change in use is sought.
36. Failure to abide by any condition of this approval shall be grounds for revocation by the Boise City Planning and Zoning Commission.



37. This permit shall be valid for a period not to exceed 36 months from the date of approval by the Planning and Zoning Commission. Within this period, the holder of the permit must acquire construction permits and commence placement of permanent footings and structures on or in the ground.
38. Prior to the expiration of this permit, the Commission may, upon written request by the holder, grant a two-year time extension. A maximum of two (2) extensions may be granted.
39. To reduce the noise impact of construction on nearby residential properties, all exterior construction activities shall be limited to the hours between 7:00 a.m. and 7:00 p.m. Monday through Friday and 8:00 a.m. to 6:00 p.m. for Saturday and Sunday. Low noise impact activities such as surveying, layout and weather protection may be performed at any time. After each floor of the structure or building is enclosed with exterior walls and windows, interior construction of the enclosed floors can be performed at any time.





Project/File: **Highland Heights Subdivision/ BPP18-0033/ SUB18-0059, PUD18-00045**
This is a planned unit development and preliminary plat application to allow for the development of 17 building lots and 3 common lots on approximately 5 acres. The site is located at the southeast corner of Bogus Basin Road and Curling Drive in Boise.

Lead Agency: City of Boise

Site address: 3600 N. Bogus Basin Road

Staff Approval: December 10, 2018

Applicant: Brian Naeve
 Alscott Real Estate, LLC
 501 Baybrook Ct
 Boise, ID 83706

Representative: Tamara Thompson
 The Land Group, Inc.
 462 E. Shore Drive
 Eagle, ID 83616

Staff Contact: Mindy Wallace, AICP
 Phone: 387-6178
 E-mail: mwallace@achdidaho.org

A. Findings of Fact

- Description of Application:** The applicant is requesting approval of a planned unit development and preliminary plat application to allow for the development of 17 building lots and 3 common lots on approximately 5 acres.

The City of Boise's Comprehensive Plan calls for suburban density residential development on the site.

- Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Single family residential	R-1B
South	Highland Elementary School	A-1
East	Crane Creek Country Club	R-6
West	Single family residential	A-2

- Site History:** ACHD has not previously reviewed this site for a development application.
- Transit:** Transit services are not available to serve this site.

5. **New Center Lane Miles:** The proposed development includes 0 centerline miles of new public road.
6. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
7. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
 - Bogus Basin Road is scheduled in the IFYWP for pavement widening and the construction of curb, gutter, and attached sidewalks on both sides of the roadway to fill in a sidewalk gap north of Curling Drive. This improvement is scheduled for 2019.

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 160 vehicle trips per day; 17 vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 10th edition.
2. **Condition of Area Roadways**
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Bogus Basin	530-feet	Minor Arterial	200	Better than "E"
Curling Drive	220-feet	Collector	160	Better than "E"

* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

* Acceptable level of service for a two-lane collector is "D" (425 VPH).

3. **Average Daily Traffic Count (VDT)**
Average daily traffic counts are based on ACHD's most current traffic counts.
 - The average daily traffic count for Bogus Basin south of Curling Road was 5,312 on 11/17/16.
 - The average daily traffic count for Curling Road south of Bogus Basin road was 3,724 on 11/17/16.

C. Findings for Consideration

1. **Bogus Basin Road**
 - a. **Existing Conditions:** Bogus Basin Road is improved with 2-travel lanes and no curb, gutter or sidewalk abutting the site. There is 65-feet of right-of-way for Bogus Basin Road (25-feet from centerline).
 - b. **Policy:**

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of Way Width Policy: District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Bogus Basin Road is designated in the MSM as a Neighborhood Residential Arterial with 2-lanes and on-street bike lanes, a 36-foot street section within 54-feet of right-of-way.

- c. **Applicant Proposal:** The applicant has proposed to improve Bogus Basin Road with pavement widening, curb, gutter, and an attached sidewalk. A retaining wall is also proposed.
- d. **Staff Comments/Recommendations:** As noted above, ACHD has a sidewalk improvement project for the section of Bogus Basin Road abutting the entire site. ACHD's project includes pavement widening, the construction of curb, gutter, a 6-foot wide attached concrete sidewalk and a retaining wall. This project is scheduled to go out to bid in January of 2019, with construction to start soon after.

For ACHD to make the improvements abutting the site additional right-of-way dedication to total 30-feet from centerline, a 6-foot wide permanent right-of-way easement where necessary to accommodate the construction of a retaining wall, based on ACHD's final design, and a 10-foot wide temporary construction easement are needed before December 31, 2018. To accommodate the tight schedule, ACHD will prepare the legal descriptions and prepare the deed and easement to meet the December 31st deadline. If the applicant does not return the signed documents by the close of business on December 31, 2018, then ACHD's project plans will be revised and Bogus Basin Road abutting the site will be removed from ACHD's project.

If the site is removed from ACHD's project, then the applicant's proposal to widen the pavement and to construct curb, gutter, and an attached sidewalk on Bogus Basin Road should be approved, as proposed. Vertical curb should be constructed abutting the site and the sidewalk should be a minimum width of 7-feet wide.

2. Curling Drive

a. **Existing Conditions:** Curling Drive is improved with 2-travel lanes, on-street parking, vertical curb, gutter, and 5-foot wide sidewalk. There is 60-feet of right-of-way for Curling Drive (34-feet from centerline).

b. **Policy:**

Collector Street Policy: District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

Master Street Map and Typologies Policy: District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

Street Section and Right-of-Way Policy: District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Residential Collector Policy: District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

Sidewalk Policy: District policy 7206.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. This segment of Curling Road is designated in the MSM as a Residential Collector with 2-lanes and on-street bike lanes, a 36-foot street section within 54-feet of right-of-way.

- c. **Applicant Proposal:** The applicant hasn't proposed any improvements to Curling Drive abutting the site.
- d. **Staff Comments/Recommendations:** Curling Drive is improved with 2 travel lanes, vertical curb, gutter, and a 5-foot wide concrete sidewalk abutting the site, meeting the intent of the MSM.

Consistent with ACHD's Minor Improvement policy, the applicant should be required to replace any broken or deteriorated portions of curb, gutter, and sidewalk abutting the site.

3. Driveways/Private Road

3.1 Bogus Basin Road

- a. **Existing Conditions:** There is one 37-foot wide driveway onto Bogus Basin Road. The existing driveway is located 175-feet north of Curling Drive.

- b. **Policy**

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Driveway Location Policy: District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 30 MPH to align or offset a minimum of 330-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

Private Road Policy: District policy 7212.1 states that the lead land use agencies in Ada County establish the requirements for private streets. The District retains authority and will

review the proposed intersection of a private and public street for compliance with District intersection policies and standards. The private road should have the following requirements:

- Designed to discourage through traffic between two public streets,
- Graded to drain away from the public street intersection, and
- If a private road is gated, the gate or keypad (if applicable) shall be located a minimum of 50-feet from the near edge of the intersection and a turnaround shall be provided.

c. Applicant's Proposal: The applicant has proposed to replace the existing driveway with a 24-foot wide curb return type driveway/private in the exact location, 175-feet north of Curling Drive.

d. Staff Comments/Recommendations: The applicant's proposal does not meet District Access Management or Driveway Location policies which requires access to be taken to a lesser classified roadway and requires driveways to be located a minimum of 330-feet from an intersection when allowed on a minor arterial roadway.

However, staff recommends a modification of policy to allow the driveway/private road to be located as proposed due to the fact that driveway is existing and Highlands Elementary School is located directly across from the site on Curling Drive. Adding a driveway/private road across from the school will increase the potential for pedestrian vehicular conflicts, as well as conflicts with parents in a hurry to drop off/pick up children from school and buses. Additionally, there are grade changes between Curling Drive and the site, which would require a significant amount of hillside cutting to construct a driveway/private road onto Curling Drive.

This is a 47% modification of policy and is approved at the Deputy Director Level.

ACHD has agreed to construct this driveway/private road as part of the Bogus Basin sidewalk project.

If the City of Boise approves the private road, the applicant shall be required to pave the private roadway a minimum of 20 to 24-feet wide and at least 30-feet into the site beyond the edge of pavement of all public streets and install pavement tapers with 15-foot curb radii abutting the existing roadway edge. If private roads are not approved by the City of Boise, the applicant will be required to revise and resubmit the preliminary plat to provide public standard local streets in these locations.

Street name and stop signs are required for the private road. The signs may be ordered through the District. Verification of the correct, approved name of the road is required.

ACHD does not make any assurances that the private road, which is a part of this application, will be accepted as a public road if such a request is made in the future. Substantial redesign and reconstruction costs may be necessary in order to qualify this road for public ownership and maintenance.

The following requirements must be met if the applicant wishes to dedicate the roadway to ACHD:

- Dedicate a minimum of 50-feet of right-of-way for the road.
- Construct the roadway to the minimum ACHD requirements.
- Construct a stub street to the surrounding parcels.

4. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

5. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

6. Other Access

Bogus Basin Road is classified as a minor arterial roadway. Curling Drive is classified as a collector roadway. Other than the access specifically approved with this application, direct lot access is prohibited to these roadways and should be noted on the final plat.

D. Site Specific Conditions of Approval

1. Dedicate additional right-of-way to total 30-feet from the centerline of Bogus Basin Road abutting the site, provide a 6-foot wide permanent right-of-way easement where necessary based on ACHD's final design, and 10-foot temporary construction easement to allow for the construction of curb, gutter, 6-foot attached concrete sidewalks abutting the site as part of ACHD's project. Return the signed deeds and easements to ACHD by the close of business on December 31, 2018.
2. If ACHD receives the signed deeds and easements by close of business on December 31, 2018 then ACHD will construct one 24-foot wide curb return driveway/private road onto Bogus Basin Road located 175-feet north of Curling Drive.
3. If the signed deeds and easements are not received by December 31, 2018, then widen then improve Bogus Basin Road abutting the site as half of a 36-foot street section with bike lanes, vertical curb, gutter, and a 7-foot wide attached concrete sidewalk.
4. Replace any broken or deteriorated portions of curb, gutter, and sidewalk on Curling Drive abutting the site.
5. Construct one 24-foot wide curb return driveway/private road onto Bogus Basin Road located 175-feet north of Curling Drive, as proposed.
6. Street name and stop signs are required for the private road. The signs may be ordered through the District.
7. Other than access specifically approved as part of this application direct lot access to Bogus Basin Road and Curling Drive is prohibited and shall be noted on the final plat.
8. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
9. Payment of impact fees is due prior to issuance of a building permit.
10. Comply with all Standard Conditions of Approval.



BOISE FIRE DEPARTMENT

MAYOR: David H. Bieter | CHIEF: Dennis Doan

December 12, 2018

Brent Moore,
PDS – Current Planning

Re: SUB18-00059; XREF PUD18-00045, and CFH18-00108

Dear Brent,

This is a request for a Subdivision consisting of 17 buildable lots and 3 common lots located in Wildland Urban Interface Zone A.

The Boise Fire Department has reviewed and can approve the application subject to compliance with all the following code requirements and conditions of approval. Any deviation from this plan is subject to Fire Department approval. Please note that unless stated otherwise, this memo represents the requirements of the International Fire Code (IFC) as adopted and amended by Ordinance 6308.

Comments:

1. This proposed subdivision is located within Wildland-Urban Interface Zone “A” and Compliance with Boise City Code Section 7-01-69 is required for all structures within this subdivision.
2. A wildfire safety plan is required for this subdivision. A plan shall be submitted and approved prior to approval of the final plat. The plan shall be based on a site-specific wildfire risk assessment that includes considerations of project size, location, topography, aspect, flammable vegetation, climatic conditions and fire history. The plan shall address water supply, access, building ignition and fire-resistive factors, fire protection systems and equipment, defensible space and vegetation management. (BCC 7-01-69)
3. Fire hydrants, capable of producing the required fire flow, shall be located along approved fire access roadways. Fire hydrant spacing shall meet the requirements of IFC table C105.1.1 (IFC 507.3, IFC B105.2, IFC C105). An additional hydrant shall be installed at the intersection with Bogus Basin RD.
4. Fire apparatus access roads shall not exceed 10 percent in grade. Nor shall access roadways exceed a 2 percent grade for the first 80 feet at the grade transition. Turnarounds shall not exceed 2 percent grade. (IFC D103.2, BCC 07-01-66)
5. Fire apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of a building measured by an approved route around the exterior of the building or facility. (IFC 503.1.1) Lots 8-12 have the potential to exceed this distance, depending on the size and placement of the homes. The access distance can be extended beyond 150 feet if automatic fire sprinklers are installed in the residence.

General Requirement:

Specific building construction requirements of the International Building Code, International Fire Code and Boise City Code will apply. However, these provisions are best addressed by a licensed Architect at time of building permit application.

Regards,

Ron L. Johnson
Division Chief – Assistant Fire Marshal
Boise Fire Department



CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: January 25, 2019

To: Brent Moore
Planning and Development Services

From: Melissa Jannusch, E.I.T.
Public Works Engineering – Hillside Review

Subject: Highland Heights Subdivision
3600 N. Bogus Basin Rd.
PWE 883 | CFH18-00108 | SUB18-00059

Summary

Highland Heights is a proposed subdivision of 5 single-family-home-lots and 6 duplex buildings. The subdivision proposes to take access on N. Bogus Basin Rd. via a private road. The private road remains at a 10% grade or less and provides a fire turnaround. The site was formerly the location of a church and has existing slopes ranging from 16-63 percent. To the west of the subdivision is W. Curling Dr. and Highlands Elementary School, to the southeast is Crane Creek Golf Course, and to the northeast is Highland Hackberry Subdivision No 1. The grading plan (by The Land Ground dated January 15, 2019) provided by the engineer proposes up to 20 feet of cut and 14 of fill. A total of 39,000 cubic yards of cut and 8,000 cubic yards of fill is estimated based on the preliminary grading and drainage plans for a total of 31,000 yards of export. This would be approximately 1,550 truck with trailer trips from the site. Several retaining walls are proposed to accommodate the development. The walls range from 1.5-6.5 feet in height. Essential grading for the single-family-home lots is not proposed for subdivision development. The grading for the single-family-home lots will be left to the individual home builders. This is in direct conflict with Boise City Code 11-07-08 which states, "essential grading shall be completed during site preparation, rather than left for future lot owners." If approved, these lots will be Category II Hillside Permits and will need to comply with planning and zoning code requirements. All drainage is planned to be piped to an onsite retention facility located at the low point of the site.

Several test pits were excavated for the preliminary geotechnical and geological report (by All West Testing and Inspection dated August 28, 2018) provided by the engineer and geologist. Soils on the site are comprised of sand, silt, and silty sand. Sandy clay was encountered in test pit 2 and sandstone was encountered in the southern portion of the site. Groundwater and monitoring is recommended to determine the depth of groundwater and assist in the stormwater disposal design.

Additional testing, laboratory testing, and field exploration is recommended in the preliminary geotechnical report and will be required prior to the approval of the final design documents.

Based on the preliminary engineering reports supplied to the city for review, the subdivision can be supported by Public Works. The land is capable of the volume and type of development proposed. The proposed development does not create a potential hazard of flooding, soil instability, erosion, or fire if the recommendations of the proposed reports are adhered to. Finally, the proposed development is in general compliance with the technical requirements of the Hillside and Foothills Areas Development Ordinance including those related to grading, drainage, hazardous areas, revegetation, and preservation of outstanding and unique features.

Prior to Final Plat approval or issuing grading/building permits the developer shall submit final reports and drawings in accordance with the requirements of the Boise City Hillside and Foothill Areas Development Ordinance.

All residential lots will need to comply with the City's Hillside and Foothills Development Standards (B.C.C. 11-07-08 through 11-07-09) and all requirements in the Public Works Hillside Technical Report Requirements Manual.

Preliminary Grading Plan Review

The site of the proposed development was previously the site of a daylight basement church. The church was accessed from a driveway off N. Bogus Basin Road and had an upper and lower parking lot area. The site has existing slopes ranging from 16 to 25 percent. The steeper slopes, along the east and south edges of the development, range from 50-63% in some areas. No grading is proposed on the slopes along the southern edge of the development. The preliminary grading and drainage plans (by The Land Ground dated January 15, 2019) provided by the engineer estimates a total of 39,000 cubic yards of cut and 8,000 cubic yards of fill for a total of 31,000 cubic yards of export. This would be approximately 1,550 truck with trailer trips from the site. A private road is proposed to access the development. The private road will follow a similar path (at a lower elevation) as the existing driveway and will continue take access on N. Bogus Basin Road. The entrance to the private road will run at a 2-6% grade for approximately 200 feet and then transition to a 10% grade. This section of the private road will require 1-13 feet of cut. The private road then turns to run east, west. The grade is approximately 4% at the turn and steepens to 10% until it reaches the fire turnaround where the grade is reduced to less than 1 percent. Approximately 10 feet of cut is required along this section of private road and up to 20 feet of cut is proposed at the fire turnaround.

Essential grading for the single-family-home lots is not proposed for subdivision development. The grading for the single-family-home lots will be left to the individual home builders. This is in direct conflict with Boise City Code 11-07-08 which states, "essential grading shall be completed during site preparation, rather than left for future lot owners." It is unknown based on the preliminary plans how much additional cut or



retaining walls may be required for development on these lots. Up to 20 feet of cut is proposed to slope the southern single-family-home lots to the elevation of the private road. The lots slope up from the private road at a 2:1 to 3:1 slopes. Up to 20 feet of cut is proposed to slope the eastern single-family-home lots to the elevation of the private road. The lots slope up from the fire turnaround at a 3:1 slope. The lots are proposed to be graded to a maximum of 2:1 or 50% slopes during the subdivision phase to match the elevation of the proposed private road. If approved, development on the single-family-home lots will be required to go through a category II hillside permit process and comply with planning and zoning requirements. The townhome units will be located along W. Curling Dr. and N. Bogus Basin Road. Up to 14 feet of fill is proposed to create building pads for the townhomes along W. Curling drive. Up to 10 feet of fill is proposed to create building pads for the townhomes along N. Bogus Basin Road.

Terraced retaining walls are proposed along W. Curling Drive. The front wall is approximately 3 feet in height and the rear wall is approximately 6 feet in height. Retaining walls are proposed along N. Bogus Basin Road reach up to 5 feet in height. Retaining walls proposed along the private road reach up to 5 feet in height. Retaining walls are proposed between the townhome units. They range in height from 1.5 feet to 6.5 feet. A retaining wall, reaching up to 6 feet in height, is proposed on the eastern side of the development. Prior to construction of any retaining walls the applicant will be required to obtain a building permit from Boise City Planning and Development Services Department. All retaining walls will require structural engineering prior to approval of a grading or building permit.

The final grading and drainage plan will need to provide the following, along with satisfying all requirements in the Public Works Hillside Technical Report Requirements Manual:

1. Correct key notes to be consistent with hydrology reports and plans.
2. Provide a detail sheet showing all details necessary for grading and drainage related work.
3. Provide cross sections of a typical pad showing tier between pads, berm at the top of the tier and location of property line.
4. The professional who prepares the geotechnical report shall supply documentation stating that the grading plan conforms with the recommendations in the geotechnical report.
5. A revegetation plan and report shall be completed by an Idaho-registered professional competent to practice in the subject matter address all requirement listed under Revegetation Plan Report Letter B in the Hillside Development Requirements for Technical Reports will be required to be submitted and approved by the City's revegetation specialist prior to approval of the final design documents.



Preliminary Hydrology Report Review

The preliminary hydrology report (by The Land Group dated January 14, 2019) contains a description of the project, existing site conditions, proposed site conditions, hydrologic impacts, discussion of the current and proposed hydrology of the site, and a discussion of the proposed stormwater infrastructure. The site currently sheet flows runoff to N. Bogus Basin Road and has no onsite stormwater system. The runoff from the development's proposed private road and the roof drains will run to a subsurface onsite R-tank system. The onsite system is proposed to be located at the lowest elevation of the site. A drainage map and preliminary calculations show the system can contain the 100-year storm onsite. The report concluded, "that the proposed site improvements... will have negligible effects to watershed characteristic both up-and downslope of the site."

1. A full discussion of pre-development and post-development peak runoff rates and volumes. Supporting documentation in the form of calculations, computer program input and output data, and drainage maps of the project drainage basin will be included.
2. A pre-and post- development hydrograph showing that the post development peak flow rate is no greater than the pre-development peak flow rate for the 100-year storm event.
3. Conduct onsite infiltration testing for a percolation rate and groundwater depths from the geotechnical engineer.
4. Drainage infrastructure will need to comply with the City's Stormwater Design Manual.

Preliminary Geology/Geotechnical Engineering Report Review

The preliminary geology/geotechnical engineering report (by All West Testing and Inspection dated August 28, 2018) provided by the engineer and geologist contains a site description for the project, review of available data, field reconnaissance, existing site conditions, subsurface exploration, preliminary hazard assessment, multiple exploratory locations, recommendations for future investigation, and proposed areas of further study. No active faults have been located on the site. Groundwater monitoring is recommended for the site to determine the depth of groundwater to aid in the design of the subsurface drainage system. No areas of slope instability or rock fall hazards were noted in the preliminary report. Seven test pits were excavated for the preliminary report. Soils on the site are comprised of mostly sand, silt, and silty sand. Sandy clay was encountered in test pit 2 and sandstone was encountered in the southern portion of the site. Additional testing and laboratory testing of the soil is recommended in the preliminary geotechnical report and will be required prior to the approval of the final design documents or grading permits. The professional who prepares the geotechnical report shall supply documentation stating that the grading plan conforms to the recommendations in the geotechnical report. The report concludes that based on the preliminary reconnaissance, research and site investigation the site is suitable for the



planned development provided the additional testing and investigations recommended in the preliminary report are completed.

A Third Party Geotechnical and Geological Engineering firm may be utilized to review and comment on the final report. No grading or building permits will be issued until all technical documents have satisfied the intent of the Hillside Ordinance.

The final geology/geotechnical engineering report will need to provide the following, along with satisfying all requirements in the Public Works Hillside Technical Report Requirements Manual:

1. Before submitting the final report, the applicant should be fully aware of the proposed design of the development, including proposed cuts, fills, and anticipated use.
2. The professional who prepares the geotechnical report shall supply documentation stating that the grading plan conforms to the recommendations in the geotechnical report.
3. The final geology/geotechnical engineering report will need to provide a slope stability analysis based on the final grading and drainage plans.
4. Geologic map - prepared at a scale not smaller than 1" to 100' unless otherwise stipulated or agreed upon, but always at the same scale as the subdivision plat. The geologic map shall have an attached overlay showing the proposed development. Interpretations of subsurface conditions shall be illustrated in one or more structure cross-sections. The geologic map should include the items listed in the City of Boise Hillside Development Requirements for Technical reports under Final Geotechnical Report Section A in detail.
5. Provide laboratory test information.

Preliminary Plat Review

Place the following note on the face of the Final Plat: "Individual lot development shall comply with the Boise City Hillside and Foothills Areas Development Ordinance (B.C.C. 11-07-08 through 11-07-09), International Building Code Chapter 18 and Appendix J as modified by Boise City Code Chapter 4-02 and the conditions of approval for CFH18-00108



Public Works Recommended Conditions of Approval

The final plans and reports will need to provide the above-mentioned items, along with satisfying all requirements in the Hillside Technical Report Requirements Manual Boise City Hillside and Foothills Areas Development Ordinance (B.C.C. 11-07-08 through 11-07-09). Once the above-mentioned items are addressed, the technical requirements are met, and the final plans are approved by Public Works, a grading permit can be issued with the following conditions of approval.

1. **Prior to final plat signature by the City Engineer or issuing grading/building permits the developer shall submit final reports and drawings in accordance with the requirements of the City's Hillside and Foothills Development Standards (B.C.C. 11-07-08 through 11-07-09) and Hillside Technical Report Requirements Manual.**
2. All site work shall comply with the Boise City Hillside and Foothills Areas Development Ordinance (B.C.C. 11-07-08 through 11-07-09), International Building Code Chapter 18 and Appendix J as modified by Boise City Code Chapter 4-02.
3. **All bonding for grading, erosion protection, revegetation and related work, including an agreement to perform work under this permit, shall be submitted to and accepted by Boise City prior to the issuance of a grading permit.** In the event of default and/or failure to complete the project and to perform the conditions stipulated herein, the developer/landowner hereby grants to Boise City and their agents the right of access to the property to do the work as necessary to complete the improvements and/or restore drainage and aesthetics of the site.
4. Prior to the start of earthwork construction, the project engineer shall hold a preconstruction meeting. Authorized representatives from the project engineer, the contractor, the developer, the geotechnical engineer and Boise City shall attend this meeting. This meeting will outline all construction activities, erosion and sediment control techniques, geotechnical engineering testing, report submittal requirements, etc.
5. **Any changes to the Grading, Drainage, or Revegetation plan shall be forwarded to the Public Works Department in writing for review and approval prior to commencing with actual construction.**
6. All earthwork must be done in compliance with the recommendations contained in the approved Final Geotechnical Engineering Evaluation and Engineering Geology Evaluation and under the direct supervision of the geotechnical engineer. Inspection and testing of earthwork is to be provided by a soils engineer/testing laboratory. **Embankment compaction test data and daily logs of construction activities shall be submitted to Public Works by the Project Engineer on a weekly basis.**
7. Unforeseen or difficult soil conditions may be encountered during earthwork activities. If soil conditions, weather conditions, or other situations alter work



activities or potentially impact satisfactory completion of work; the City shall be immediately notified. The geotechnical engineer shall respond to these conditions in a manner acceptable to the City. If these conditions are not appropriately dealt with, a work stoppage will be imposed on the project until satisfactory resolution of these problems can be achieved.

8. The Contractor and/or Developer to whom this permit is issued, shall be responsible for maintaining the project site in a safe, environmentally stable condition. If the Project Engineer is notified of unacceptable conditions at the project site, including but not limited to, excessive dust generation, excessive erosion of soil materials from the site and deposition of these materials on adjoining properties, and the permittee does not respond to and resolve these matters, then the City of Boise reserves the right to direct and have said unacceptable conditions corrected by a contractor of its choice. The cost of said work will be paid for by the Developer or Contractor as appropriate. In the event the Developer will not pay for work performed, the City will demand payment from the grading bond held for this grading work.
9. The Owner/Contractor must provide for temporary erosion protection of all disturbed slopes on an as required basis until the project is successfully revegetated. The intent of this condition is to minimize erosion to this project and to prevent the transport of eroded materials outside the boundary of this project. The Owner/Contractor shall have onsite or readily available sandbags, sediment fence or other materials deemed necessary by the Project Engineer for emergency response to drainage, erosion or sedimentation problems.
10. If excess waste materials or excavated materials are to be removed from the site, positive measures shall be taken to prevent soil and other debris from being deposited on existing streets. Any offsite disposal of excess cut material must be approved in advance by Boise Public Works. The permittee shall also repair any damage the work causes to existing public and/or private property.
11. Stripping and topsoil removal shall not be done on an area until just prior to cutting or filling in the area.
12. The permittee shall apply water or other dust palliative to control dust when necessary.
13. All slopes and disturbed area shall be protected in accordance to an approved erosion control plan & revegetated in accordance to the approved revegetation plan and report.
14. If blasting is required, it shall be done in compliance with a blasting permit obtained from the Boise City Fire Department.
15. No operation of heavy equipment shall occur prior to 7:00 a.m. or later than 7:00 p.m., Monday through Saturday. Upon request, work may be permitted outside of



these hours on limited basis provided that there is not excessive disturbance to adjacent property owners from noise and/or lights.

16. Any correspondence and communications relative to this permit shall be directed to the Department of Public Works with copies to the Building Department.
17. Boise City shall be reimbursed for review and inspection costs associated with Hillside Ordinance Requirements.
18. Final reports as required by International Building Code Chapter 18 and Appendix J as modified by Boise City Code Chapter 4-02 shall be provided prior to full release of grading performance security.
 - a. An as-built grading plan prepared by the registered design professional retained to provide such services showing original ground surface elevations, as-graded ground surface elevations, lot drainage patterns, and the locations and elevations of surface drainage facilities and of the outlets of subsurface drains. As-constructed locations, elevations and details of subsurface drains shall be shown as reported by the registered design professional. Registered design professionals shall state that to the best of their knowledge the work within their area of responsibility was done in accordance with the final approved grading plan.
 - b. A report prepared by the registered design professional retained to provide such services, including locations and elevations of field density tests, summaries of field and laboratory tests, other substantiating data, and comments on any changes made during final grading and their effect on the recommendations made in the approved soils engineering investigation report. Registered design professionals shall submit a statement that, to the best of their knowledge, the work within their area of responsibilities is in accordance with the approved soils engineering report and applicable provisions of this chapter.
 - c. A report prepared by the registered design professional retained to provide such services, including a final description of the geology of the site and any new information disclosed during the grading and the effect of same on recommendations incorporated in the approved grading plan. Registered design professionals shall submit a statement that, to the best of their knowledge, the work within their area of responsibility is in accordance with the approved engineering geology report and applicable provisions of this chapter.
 - d. The grading contractor shall submit in a form prescribed by the building official a statement of conformance with the as-built plan and the specifications
19. Prior to final plat signature the applicant must submit two copies of all final documents (geotechnical inspections, compaction testing, hydrology reports, ACHD stamped approved plans, **post construction reports as required by the Hillside Development Requirements for Technical Reports Manual**, etc.)



20. The landscape architect shall be required to perform the following tasks:

- a. Sample the stockpiled topsoil and make any recommendations for necessary soil amendments before the topsoil is redistributed on the disturbed slopes
- b. After the topsoil has been applied to the slopes, the landscape architect shall inspect and certify that the topsoil has been properly amended and spread at the minimum thickness recommended in the revegetation report.
- c. After the hydroseed and mulch have been applied, the landscape architect shall inspect and certify that the correct rates were applied.
- d. After the first year of revegetation, the landscape architect shall write a report on the progress and success of the revegetation. The report shall address the need for any remedial revegetation work that may be required. Periodic reports shall be required thereafter on an as needed basis until the landscape architect certifies the revegetation is complete. At this time, the revegetation bond shall be released.





PUBLIC WORKS DEPARTMENT

MAYOR: David H. Bieter | DIRECTOR: Stephan Burgos

CITY OF BOISE

INTER-DEPARTMENT
CORRESPONDENCE

Date: November 9, 2018

To: Planning and Development Services

From: Melissa Jannusch, E.I.T., Associate Engineer
Public Works Engineering

Subject: SUB 18-00059; Highland Heights Subdivision
3600 N BOGUS BASIN RD 83702
Grading & Drainage, Hillside, & Misc. Engineering Comments

1. STANDARD GRADING AND DRAINAGE CONDITIONS

- 1) Subdivision drainage shall be in accordance to B.C.C. 11-09-04-05. The developer shall submit a letter from the appropriate drainage entity approving the drainage system or accepting the drainage there from. A copy of the construction drawing(s) depicting all site drainage improvements shall be submitted with the letter.
 - a. Developer may either construct improvement prior to final platting or post bond in the amount of 110% of the estimated construction costs. Estimated construction costs shall be provided by the developer's engineer.
 - b. For drainage facilities located outside of the public right-of-way, the developer shall dedicate a storm drainage easement. Said easement shall be labeled as either an Ada County Highway District storm drainage easement or a homeowners' association storm drainage easement, depending on what entity will assume responsibility for the operation and maintenance of the storm drainage system.
 - c. If the homeowners' association is to be responsible for the operation and maintenance of the storm drainage facilities, the covenants, homeowners' association by-laws or other similar deed restrictions shall be reviewed and approved by the Boise City Attorney.

- 2) If fills greater than one foot in depth are to be placed in subdivision lots inside of building envelopes, as defined by the applicable subdivision building setbacks, the Developer shall obtain a grading permit from the Boise City Building Department (Commercial Rough Grading Permit). Grading permit must be acquired prior to the start of construction or final plat signature by the Boise City Engineer, whichever comes first.

Special Conditions:

2. EROSION CONTROL CONDITIONS

- 1) Subdivision work shall be in accordance to B.C.C. 08-17 Construction site Erosion Control Ordinance. The developer shall obtain an Erosion Control Permit from the Boise City Building Department. The Erosion Control Permit must be acquired prior to the start of construction.
- 2) This project will require an Erosion Control Plan (ECP) or Stormwater Pollution Prevention Plan (SWPPP) to be submitted with the permit application. The plan must bear the signature and certification number of an individual who has successfully complete a Boise City approved training course.

Special Conditions:

3. STANDARD HILLSIDE CONDITIONS

- 1) Developer will comply with all requirements of Boise City Code Sections. 11-07-08 through 11-07-09 (Hillside and Foothill areas) or submit evidence satisfactory to the Boise City Engineer that the proposed development is exempt from the requirements therein stated due to location, topography and/or the absence of adverse conditions associated with slope stability, ground water, erosion and sedimentation.
 - a. The project engineer shall submit a summary report describing the incorporation of the recommendations of the various final reports into the design and said summary report shall accompany the final reports.
 - b. Developer and/or owner shall post bond/agreement in the amount of 110% of the estimated costs on each of the following items pertaining to its particular plan: Grading, Filling, Erosion Control, Drainage, Revegetation and related work. This bonding shall be provided prior to the start of any site work or signing of the final plat by the Boise City Engineer.
 - i. Additionally, this bond shall remain in effect until such time as, in the opinion of the City Engineer, the grading is complete, the revegetation



is established and the susceptibility for erosion on the site has been reduced to a tolerable level.

- ii. The portion of the bond for revegetation and erosion control shall remain in effect through at least two growing seasons (spring and fall). If, in the opinion of the City Engineer, vegetation has not become established prior to the last growing season, the Developer and/or Owner shall do additional revegetation work as recommended by the developer's Landscape Architect and approved by the City Engineer. The City Engineer may also require extension of this portion of the bond until such time that at vegetation has become established and hence long term erosion control has been provided.
- c. All protective covenants required under Boise City Code Section 11-07-08.F shall be reviewed and approved by the Boise City Attorney prior to signing of the final plat by the Boise City Engineer.
- d. All filing fees and costs required to be paid per Boise City Code prior to the signing of the final plat by the Boise City Engineer.**

2) Place the following note on the face of the final plat:

- a. "Individual lot development shall comply with the Boise City Hillside and Foothills Areas Development Ordinance (B.C.C. 11-07-08 through 11-07-09), International Building Code Chapter 18 and Appendix J as modified by Boise City Code Chapter 4-02 and the conditions of approval for CFH14-00022"

4. MISC. ENGINEERING CONDITIONS

NA

5. PRIVATE STREET CONDITIONS

- 1) The following private street requirements must be met in an acceptable format:
 - a. Convey to those lot owners taking access from the private street, the perpetual right of ingress and egress over the described private street, and
 - b. Provide that such perpetual easement shall run with the land, and
 - c. Provide each lot owner taking access from the private street, undivided interest within the private street.
- 2) A restrictive covenant for maintenance and reconstruction shall be recorded at the time of recording the plat which covenant, (a) creates the formation of a



homeowners association for the perpetual requirement for the maintenance/reconstruction of the private street, and private street signs and (b) provides that said covenant shall run with the land, and (c) provides that the homeowners association shall not be dissolved without the express consent of Boise City.

- 3) Said easement and covenant to be reviewed and approved by the Boise City Attorney (B.C.C. 9-20-7.E.2.q & 9-20-7.E.2.r).
- 4) Private street widths shall be in conformance with B.C.C. 11-09-03.5. or as allowed via B.C.C. 11-09-05. All private streets, base and pavement, shall be constructed to the same construction specifications required for public streets. Contact the Ada County Highway District (ACHD) for public street construction requirements (B.C.C. 11-09-03.5.B.).
 - a. Certification of construction to ACHD specifications is required from an independent testing laboratory or a consulting engineer, including test results for the verification of construction (B.C.C. 11-09-03-05.B.(2)(e)).
 - i. If it is an existing private street, verification of acceptable construction of the existing private street, including acceptability for use of emergency vehicles (including fire trucks and ambulances), is required from an independent testing laboratory or a registered Professional Engineer.
 - b. Sidewalks are required on both sides of the private street (or in compliance with the sidewalk plan approved with the conditional use) unless specifically waived by the Boise City Council.
 - c. Private street signs shall be installed in the same manner as public street signs (see requirements of ACHD).
 - d. The developer shall pay the current drainage review and inspection fees on the proposed subdivision (B.C.C. 11-03-03.3.B.).
 - e. Drainage facilities for the private street shall comply with Boise City's Storm Water Management and Discharge Control Ordinance (B.C.C. 8-15). Plans shall be approved and construction inspected by Boise City Public Works.
 - i. Developer and/or owner may either construct prior to final platting or post bond/agreement in the amount of 110% of the estimated costs, including certification (B.C.C. 11-09-04.2., Filing of Plans and Bonding Surety).

Special Conditions:



If you have any further questions, please contact Melissa Jannusch



Melissa Jannusch, E.I.T.
Associate Engineer
Hillside Coordinator
Public Works Engineering
208-608-7168
mjannusch@cityofboise.org

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\\Boise\pw\Common\PWA\Subjects\Review Comments\Subdivision Comments\Temp (uploaded comments)\Drainage Hillside Eng comments\MMJ-Grading, Drainage, Hillside & Misc Sub Comment - Highland Heights.docx



CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: November 2, 2018

To: Planning and Development Services

From: Mike Sheppard, P.E., Civil Engineer II
Public Works Department

Subject: SUB18-00059; 3600 N Bogus Basin Road; Sewer Irrigation Sub Comments

1. STANDARD IRRIGATION CONDITIONS

REV 5/1/14

- a. Comply with B.C.C. 11-09-04.11 concerning pressure irrigation requirements prior to signing of the final plat by the Boise City Engineer.
 1. The owner, person, firm or corporation filing the subdivision plat shall provide a pressurized irrigation system. The system must conform to the minimum design standards and specifications of Boise City, or of the entity that will operate and maintain the system, if that entity has published standards; or
 2. The owner, person, firm or corporation filing the subdivision plat shall provide written documentation that a valid waiver of the requirement to provide a pressure irrigation system and that Idaho Code 31-3805(1)(a) regarding transfer of water rights, has been complied with.
- b. Prior to either commencing construction or signing of the final plat by the Boise City Engineer, developer shall:
 1. Submit for approval by the Department of Public Works, construction plans and specifications for the pressurized system, stamped by a registered engineer.
 2. Provide written assurance that provisions have been made for ownership, operation, and maintenance of the system.
 3. Delineate all necessary irrigation easements on the final plat (B.C.C. 11-09-03.6).
- c. Developer shall provide for an independent inspection of the installation of irrigation facilities and written certification by the design or project engineer that the system was installed according to the approved plans. In addition, the Department of Public Works must be present for the system pressure test and participate in a final inspection.
- d. Developer may construct prior to final platting or bond in the amount of 110% of the estimated construction costs based on the approved plans.

- e. **Fees:** Developer and/or owner shall pay the current inspection and plan review fees applicable to the proposed subdivision prior to signing of the final plat by the Boise City Engineer (B.C.C. 11-03-03.3.B.).

2. STANDARD SEWER CONDITIONS

REV 5/1/14

City Subdivision Conditions

- a. Wetline sewers are required (B.C.C. 11-09-04.4., *Required Improvements; Sanitary Sewer*).
1. Plans shall be submitted to and approved by the Boise City Department of Public Works prior to commencing with construction. Developer and/or owner may either construct improvements prior to final platting or execute a performance agreement and provide surety in the amount of 110% of the estimated costs. The developer and/or owner shall coordinate with the Department of Public Works for construction inspection prior to and during construction. Unless otherwise approved by the Public Works Department, all sewer construction shall be completed and accepted within 90 days of plat recordation, or within 30 days of issuance of the first building permit within the subdivision, whichever comes first.
- NOTE:** All bonding shall conform to Boise City Code 1-19, *Surety Bonds*.
2. Developer and/or owner shall pay the current sewer inspection fees for the proposed subdivision prior to signing of the final plat by the Boise City Engineer.
 3. Developer and/or owner shall be responsible for repairs of any failures that occur within one (1) year of the project acceptance by the appropriate sewer entity (Boise City Code 11-09-04.2F, *Subdivision Standards; Required Improvements*).
- b. Developer and/or owner shall delineate all necessary Boise City sanitary sewer easements on the final plat prior to signing of the final plat by the Boise City Engineer (Boise City Code 11-09-03.6A, *Subdivision Design Standards; Easements*).
- c. Developer and/or owner shall make payment, 8” equivalent cost reimbursement, and comply with Boise City Code 8-11, *Sewer Ordinance*, on that portion of existing sewer line within the proposed subdivision prior to signing of the final plat by the Boise City Engineer. Contact the Department of Public Works for specific costs.
- d. Unless previously paid, developer and/or owner shall pay a sewer assessment along N Bogus Basin Rd & W Curling Dr. and/or as may be approved by the Boise City Public Works Commission prior to signing of the final plat by the Boise City Engineer. Contact the Department of Public Works for specific costs.
- e. Developer and/or owner shall comply with all provisions of the Boise City “Sewer Tap” Ordinances.
1. Developer and/or owner may either construct prior to final platting or post bond/agreement in the amount of 110% of the estimated costs. Please contact the Public Works Department for specifications and inspections during construction.

NOTE: All bonding shall conform to B.C.C. 11-09-04.2., *Required Improvements; Filing of Plans and Bonding Surety*, which specifies that the improvements to be made shall be done in a time period not to exceed one year from the date of approval of the final plat.

CITY OF BOISE

INTER-DEPARTMENT
CORRESPONDENCE

Date: October 31, 2018

To: Planning and Development Services

From: Mike Sheppard, Civil Engineer
Public Works

Subject: PUD18-00045; 3600 N. Bogus Basin Road.; Sewer Comments

Connection to central sewer is required. Sanitary sewers are available in W. Curling Drive and N. Bogus Basin Road.

Prior to granting of final sewer construction plan approval, all requirements by Boise City Planning and Development Services must be met.

If you have any further questions, please contact Mike Sheppard at 608-7504.



PUBLIC WORKS DEPARTMENT

MAYOR: David H. Bieter | DIRECTOR: Stephan Burgos

MEMO

TO: Planning and Development Services
FROM: Evan Carpenter
Environmental Analyst
Public Works Department
DATE: 11/5/2018
RE: Solid Waste Comments – PUD18-00045

City of Boise Solid Waste staff has reviewed the application for this project and has the following comments. The following requirements for trash and/or recycling service apply to any residential subdivision or development in the City of Boise. Solid Waste collection vehicles utilize mechanical arms to collect 48 to 95-gallon plastic wheeled carts which require certain space and access specifications. If the following conditions can't be met, commercial service or separate collection locations may be required.

A. General Requirements

- i) All streets and alleyways must be designed so that collection vehicles are not forced to back up at any time. (Hammerhead drives may be permitted only with prior approval from Public Works, 384-3906)
- ii) All developments utilizing residential service, including, condominiums, town homes, and patio homes, must provide a minimum of 9 feet of curb space per dwelling unit for the carts to be placed at the curb for collection.
- iii) Cul-de-sacs must have an unobstructed 70' minimum diameter.
- iv) Alleyways and service drives designated for solid waste collection shall be a minimum of 16' (curb to curb) with no parking permitted.
- v) Trees, street lights, wiring and other overhead obstacles shall not impede trash or recycling collection and will be maintained to provide an 18' high clearance above the cart collection location(s).
- vi) Designated parking areas shall not impede curbside solid waste collection; no parking is permitted in cul-de-sacs.
- vii) Developers of gated subdivisions shall provide the solid waste hauler with access to the subdivision.
- viii) "Flag lots" and lots with private or shared driveways must take their carts to the street for collection or pay for carry-out service.
- ix) Trash service will be provided on private streets only when a service agreement is signed.

NOTE:

Without a hammerhead turnaround or cul-de-sac on the dead-end southernmost street branch, the owners of lots L14 and L15 must move their solid waste carts to the street corner for servicing, or pay for carry-out service.

Please contact me with any questions at 208-608-7161 or ecarpenter@cityofboise.org.



CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 1 November 2018

To: Planning and Development Services

From: Tom Marshall, Street Lighting Technician
Public Works

Subject: PUD18-00045; 3600 N Bogus Basin Rd; Street Light Comments

Street lights are required at the following locations:

1. At the intersection of the two private roads
2. Near the cul-de-sac on the second private road.

Street lights are required. Plans for this private street light system must be submitted, reviewed, and approved by Public Works prior to issuance of a building permit. A Homeowners' Association shall be created to be responsible for the ongoing operation and maintenance of the system.

New Street Light installations shall conform to the 2015 version of the Boise Standard Revisions, Idaho Standards for Public Works Construction (ISPWC) using approved LED fixtures listed in Attachment A to the Boise Standard Revisions.

Developer shall not connect, or allow any subcontractor to connect any irrigation timers, decorative lighting, entrance lighting, outlets or other electrical devices to any street lighting circuits. Any and all irrigation timers, decorative lighting, entrance lighting, outlets or other electrical devices shall be connected directly to Idaho Power at an Idaho Power approved location.

If you have any further questions, please contact Tom Marshall at 608-7526.



PLANNING AND DEVELOPMENT SERVICES

MAYOR: David H. Bieter | INTERIM DIRECTOR: Jason Blais

November 8, 2018

PDS Building Department Plan Review:

The subdivision **preliminary** plat SUB18-00059 has been reviewed and the existing structures on the property appear to be in non-compliance with proper required distance from the proposed property lines, thus a demolition permit or a permit to move structures must be applied for prior to any signoff from the building plan review division.



CITYOFBOISE.ORG

Michael Hanson
Plans Examiner II
Planning and Development Services
Office: (208)608-7101
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Making Boise the most livable city in the country.



Independent School District of Boise City #1

Boundaries, Transportation, and Traffic Safety
8169 W Victory Rd - Boise, ID 83709
(208) 854-4167 Fax (208) 854-4011

RESPONSE TO PLANNING & DEVELOPMENT SERVICES

DATE: December 19, 2018

TO: PDSTransmittals@cityofboise.org

FROM: Lanette Daw, Supervisor Traffic Safety and Transportation

RE: PUD18-00045 & SUB18-00059 – Highlands Heights Subdivision

At the present time, the Developer and/or Owner have made arrangements to comply with all requirements of the Boise School District.

The schools currently assigned to the proposed project area are:

Elementary School: **Highlands**
Junior High School: **North**
High School: **Boise**

Comments Regarding Traffic Impact: **None**

Comments Regarding Safe Routes to School Impact: **None**

If you have any further questions, please feel free to contact this office.