



Planning & Development Services

Boise City Hall, 2nd Floor
150 N. Capitol Boulevard
P. O. Box 500
Boise, Idaho 83701-0500

Phone: 208/384-3830
Fax: 208/384-3753
TDD/TTY: 800/377-3529
Website: www.cityofboise.org/pds

MEMORANDUM

MEMO TO: **Boise City Design Review Committee**

FROM: **Josh Wilson
Design Review Analyst
Boise City Planning and Development Services**

RE: **DRH16-00079/ BVGC Parcel B, LLC**

DATE: **June 1, 2016**

Public Worksession DRH16-00079/ BVGC Parcel B, LLC

Location: 1101 W. Front Street

Approval for the construction of a six-story 145,000 square foot office building, a 5,000 square foot retail building, and a four-story 611 stall parking garage including 10,000 square feet of ground floor commercial space.

SUMMARY

The subject application was deferred to a future public worksession at the April 13, 2016 Design Review Committee hearing. The items of concern for review are listed below:

Site Specific Conditions of Approval

- 1a. Provide refined designs for the two public plazas incorporating public art, additional plantings, water features, or other design elements. Designs shall be reviewed by the Committee at a public work session.**

The applicant's revised landscape plan, Sheet L100, depicts changes to both plazas: the intersection of 13th Street/Myrtle Street, and the intersection of 11th Street Myrtle Street. Public art, a seating wall, and additional trees have been added to the 13th Street/Myrtle Street plaza, providing a more enhanced focal point for vehicles exiting the connector. The 11th Street /Myrtle Street plaza has been modified to be larger, includes sidewalk connections to the retail building, includes enhanced landscape screening of the service areas, and the seat wall has been eliminated to enhance the connection to the Pioneer Corridor.

- 1b. Provide a prominent entrance to the Office Building on Myrtle Street. The design shall be reviewed by the Committee at a public work session.**

The office building has been modified to include a building entrance on the south side near the stairwell. The entrance has been styled to mimic the main building entrance on the north elevation, with a metal canopy and glazing. The applicant has not clarified if the entrance will be publicly accessible, and this should be addressed at the public worksession.

- 1c. Provide a sidewalk connection from the west end of the Retail Building to Myrtle Street.**

This has been done and is depicted on the revised site and landscape plans.

- 1d. Provide a three-foot high masonry wall between the Retail Building parking lot and Myrtle Street.**

This has been done and is depicted on the revised site and landscape plans.

- 1e. Provide accurate Parking Structure elevations depicting the location and design of the southwest entry tower.**

This has been done and is depicted on the revised parking garage elevations.

- 1f. Provide revised Parking Structure elevations continuing the perforated metal panels to the ground level.**

This has been done and is depicted on the revised parking garage elevations.

- 1g. Provide revised Parking Structure elevations continuing the perforated metal panels to the ground level.**

This has been done and is depicted on the revised retail building elevations.

Items 1h and 1i will be addressed when the applicant returns with 60% completion drawings for Committee review.

Additional Areas of Concern

The Committee requested a drawing package that accurately, and completely, represents the proposed project including all areas of the proposed buildings. The attached package has been submitted with the addition of several drawings to clarify the applicant's proposal. Detailed parking garage and retail building elevations along with new perspective drawings have been provided.

Specifically, the parking structure has been modified to provide additional metal canopies to the stair towers, additional metal canopies to the retail space, perforated metal screening has been

brought to the top of the masonry wall, contrasting texture has been added to the masonry for the elevator towers, and the entrance to the northeast corner at 11th and Front Street has been modified to emphasize the entrance to the retail space. The retail building has been modified to include screening of service areas and an expanded canopy along southwest portion of building.

RECOMMENDATION

With the submitted revisions, the project complies with the applicable Site Specific Conditions of approval, Sections 11-7-3.1, 11-7-3.2 and 11-7-3.3 of the Zoning Ordinance, the goals and policies of the Boise City Comprehensive Plan, and the Boise Downtown Design Standards and Guidelines. The Planning Team recommends **approval** at the June 8, 2016 worksession.

Revised Site Specific Conditions of Approval are listed below:

Site Specific Conditions

1. Compliance with the plans and specifications submitted to and on file in the Planning and Development Services Department **dated received March 8, 2016, and revised plans and specifications dated received May 11, 2016**, except as expressly modified by the following conditions:
 - a. Any trees within tree grates shall also use a suspended pavement system with a minimum soil volume of 500-600 cu ft. The soil used within the suspended pavement system will be required to meet City specifications which can be obtained from the Planning Team.
 - b. At 60-percent construction documents the following shall be provided:
 1. Details showing a minimum of a 2-inch depth from the face of the glazing to the finish face of the surrounding material, with the exception of the curtain wall systems.
 2. A detailed planting plan showing species, quantities, and size at time of planting.
 3. Details showing all rooftop mechanical equipment screened to full height.

SPINK BUTLER LLP

ATTORNEYS AT LAW

GEOFFREY M. WARDLE
208.388.3321
GWARDLE@SPINKBUTLER.COM

VIA EMAIL (jgwilson@cityofboise.org)

May 11, 2016

Josh Wilson
Design Review Planner
BOISE CITY PLANNING AND DEVELOPMENT SERVICES
150 N. Capitol Boulevard, 2nd Floor
Boise, Idaho 83702

**Re: Work Session Submittal for DRH16-00079
SB Matter No. 23297.21**

Dear Mr. Wilson,

In light of the request of the Design Review Committee that we return for a Work Session on DRH16-00079, we would request that a Work Session on this matter be scheduled for June 8, 2016. In support of this request, we provide the following to address the items raised by the Committee. We have sought to address the Committee's concerns regarding the completeness of the original submittal and the issues to be addressed from the Staff Report. As such, we are providing the following documents:

- Revised Landscape Plan, L100
- Revised Site Plan, SP100
- Revised Site Details, SP501
- Revised Parking Garage Level 1 Plan
- Revised Parking Garage Level 2-4 Plan
- Revised Parking Garage Exterior Elevation
- Revised Office Building Exterior Elevations
- Revised Retail Exterior Elevations
- Revised Retail Plan
- Updated Materials Board
- Revised Aerial View

We have also provided a perspective of the Parking Garage from Front Street and a perspective of the Office Building from Myrtle Street.

MICHAEL T. SPINK JOANN C. BUTLER T. HETHE CLARK GEOFFREY M. WARDLE TARA MARTENS MILLER

Based upon the comments received at the initial hearing of this Application, significant design enhancements have been undertaken that we will briefly address.

Parking Garage

- A perspective of the Parking Garage from Front Street and 11th Street has been provided.
- The elevations have been revised to depict the contrast between structure and open areas;
- Additional metal canopies have been added to the stair towers;
- Additional metal canopies have been provided along the retail façades;
- The perforated metal screening has been brought down to the top of the masonry screen wall around the entire structure;
- Contrasting texture has been added to the masonry for the elevator towers and the eastern retail façade;
- The location of a future blade sign has been depicted at the corner of 11th Street and Front Street; and
- The entrance to the stair tower on the northeast corner at 11th Street and Front Street has been modified to emphasize the entrance to the retail space at that location and to more clearly define the location of the entrance.

Office Building

- A perspective of the Office Building from Myrtle Street and 13th Street has been provided;
- The location of future wall signage has been depicted on the south and west façades;
- An entrance has been provided on the Myrtle Street façade that is consistent with the entrance provided on the north side of the Office Building and that includes and screens the exit from the emergency stairs; and
- Additional landscaping has been provided at the plaza further screening the building with a mixture of evergreen and flowering trees.

Retail Building

- Additional refinement has occurred of the Retail Building eliminating EIFS at its base and replacing it with an additional contrasting color of fiber cement board;
- Modifications have been made to the roof plane to enhance modulation;
- Service facilities and screening have been added;
- Expansion of the canopy along the southwest portion of the building has occurred; and
- Revisions have occurred as set forth below to the plaza and landscaping to better engage the Pioneer Corridor.

Site Specific Revisions

Additionally, we have specifically addressed the following Site Specific Conditions set forth in the original Staff Report for DRH16-00079 and provide comments as follows:

1a. Provide refined designs for the two public plazas incorporating public art, additional plantings, water features, or other design elements. Designs shall be reviewed by the Committee at a public work session.

The plaza on the southwest corner at 13th Street and Myrtle Street has been revised and we want to draw your attention to the following details:

- We propose public art to be centered in the plaza as a focal point at this location;
- A concrete seat wall is shown between the plaza and the landscape area;
- More detail is provided of the landscaping area and the proposed plantings; and
- Additional trees are proposed behind the seat wall, these are a mixture of evergreens and flowering trees that provide greater color and contrast.

With the inclusion of public art at this location together with the enhanced landscaping and additional trees that are proposed for this plaza, we have significantly increased the screening of the Office Building from the intersection while providing additional interest and amenities at the pedestrian level, as depicted in the new perspective.

The plaza on the southeast corner at 11th Street and Myrtle Street has also been revised. We want to draw your attention to the following details:

- The plaza has been enlarged and opened up so as to provide a larger area for exterior seating to the east of the Retail Building and to provide better accessibility to it by pedestrians and from the Pioneer Corridor;
- The concrete seat wall originally proposed on this plaza has been removed because we determined that it created an unnecessary barrier to pedestrians between the sidewalk, the Pioneer Corridor, and the Retail Building;
- Sidewalk connections have been added at the eastern and western ends of the Retail Building to the sidewalk along Myrtle Street;
- The bicycle racks have been relocated to the north, again to provide a more open plaza and better connection between the Retail Building and pedestrians;
- On the west side of the Retail Building, enhanced screening and landscaping have been provided for the service facilities required for the building; and
- Additional evergreen and flowering trees have been placed adjacent to the plaza and the Retail Building to provide greater color and contrast.

We believe these modifications satisfy the provisions of Section 3.5.1 of the Boise Downtown Design Standards and Guidelines.

1b. Provide a prominent entrance to the Office Building on Myrtle Street. The design shall be reviewed by the Committee at a public work session.

Modification has occurred to the Myrtle Street façade of the Office Building to include an entrance. We are proposing an entrance on Myrtle Street that is similar to the design of the entrance proposed on the north façade of the Office Building. This entrance also permits the stairwell emergency exit to be incorporated into the entrance vestibule screening it from Myrtle Street. As a consequence, it has been necessary to alternate one of the trees on the north side of the sidewalk. However, we believe that placement of an entrance at this location is an appropriate trade off. Both entrances to the Office Building are distinct, defined, and clearly distinguishable as entrances. This satisfies the provisions of Sections 4.2.4 and 4.3.1 of the Boise Downtown Design Standards and Guidelines.

1c. Provide a sidewalk connection from the west end of the Retail Building to Myrtle Street.

This has been done and is depicted on L100 and SP100. Additional discussion of this change is above regarding Condition 1a.

1d. Provide a three-foot high masonry wall between the Retail Building parking lot and Myrtle Street.

This has been done and is depicted on L100 and SP100. A detail depicting the three (3) foot tall masonry screening wall is included in SP100.

1e. Provide accurate Parking Structure elevations depicting the location and design of the southwest entry tower.

This has been done as depicted in the revised Parking Garage Elevations.

1f. Provide revised Parking Structure elevations continuing the perforated metal panels to the ground level.

This has been done as depicted in the revised Parking Garage Elevations.

1g. Provide refined Retail Building elevations with EIFS not extending below two-feet above the ground.

This has been done as depicted in the Revised Retail Exterior Elevation. An additional material has been added to the building as depicted so that there are two contrasting colors of fiber cement board that are proposed as depicted on the Revised Retail Exterior Elevation

May 11, 2016
Josh Wilson
Design Review Planner
BOISE CITY PLANNING AND DEVELOPMENT SERVICES
Page 5

We will comply with the rest of the site specific conditions, specifically 1.h and 1.i, and will return with designs compliant with that at the 60% stage.

We look forward to presenting these revisions to the Committee. Representatives from Babcock Design Group and Baer Design Group will be in attendance to discuss the revised submittal and other questions with members of the Committee.

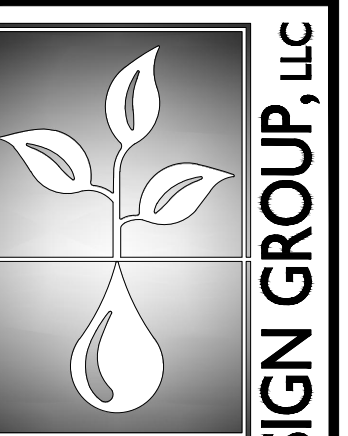
Sincerely,



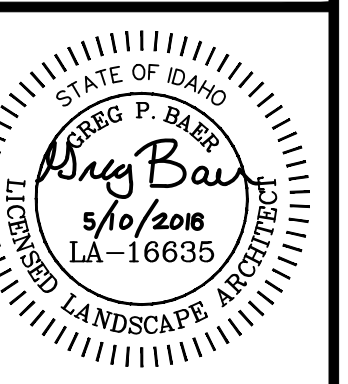
Geoffrey M. Wardle

GMW:g

c: Darin Bell
Greg Baer
Tommy Ahlquist
Tom Ahlquist



BAER DESIGN GROUP, LLC
 539 S. Fitness Place, Ste 120
 Eagle, ID 83616
 Ph. 208.938.7721



Boise, ID

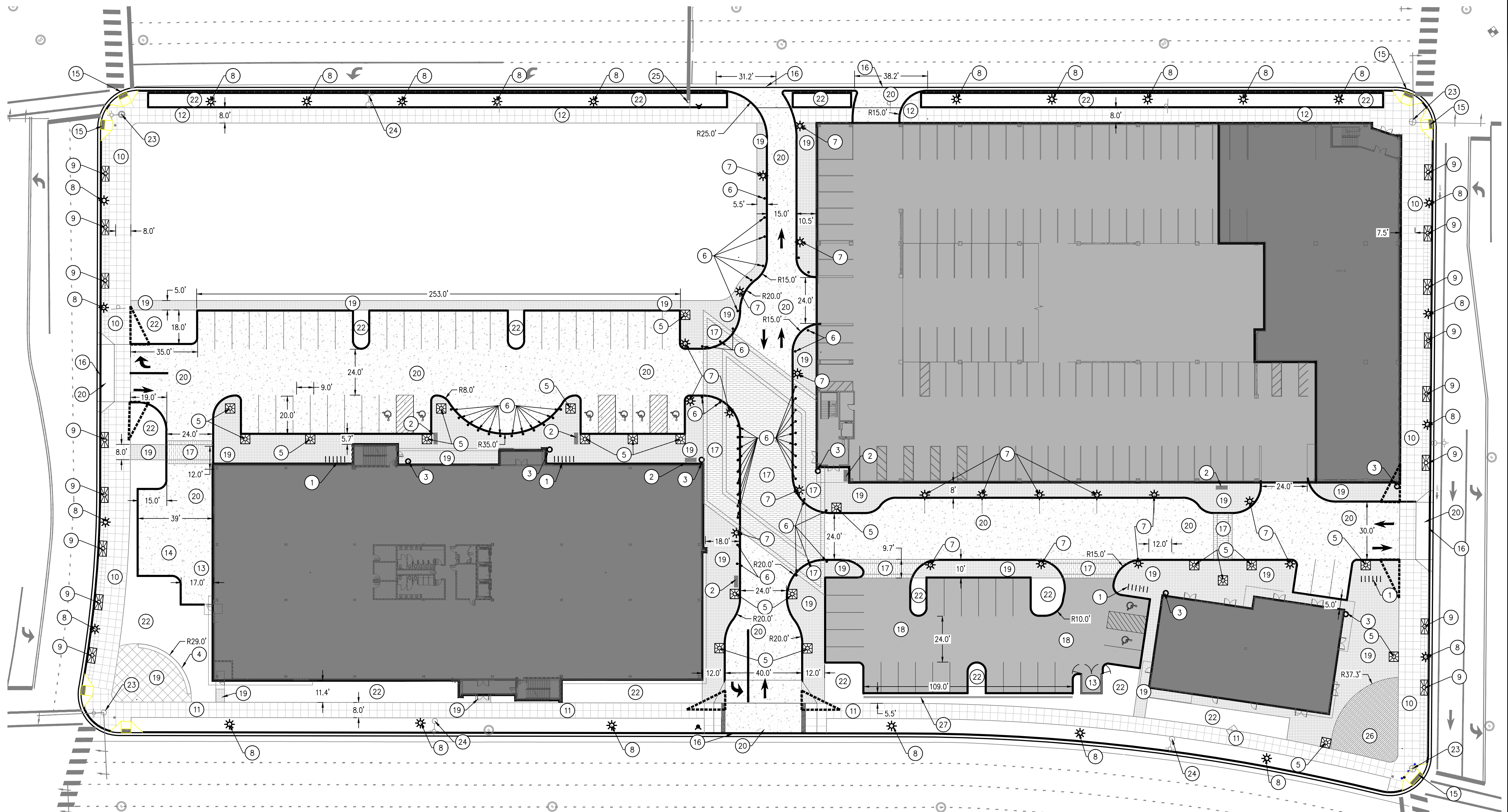
Parcel 'B'

Site Plan

Revisions

Project No.: 15038
 Drawn by: TE
 Checked by: GB
 Date: 5.10.2016

Sheet No.: SP100



SITE KEYNOTES:

1. NEW BICYCLE RACK; SEE DETAIL 3/SP501.
2. NEW BENCH; SEE DETAIL 1/SP501.
3. NEW TRASH RECEPTACLE; SEE DETAIL 2/SP501.
4. NEW CONCRETE SEAT WALL; SEE DETAIL 4/SP501.
5. NEW 4'X4' TREE GRATE; SEE DETAIL 5/SP501.
6. NEW LIGHT BOLLARDS; SEE DETAIL 12/SP501.
7. NEW LIGHT POST; SEE DETAIL 13/SP501.
8. INSTALL HISTORIC LIGHT POST. INSTALL PER BOISE PUBLIC WORKS STANDARD HISTORIC POLE BASE DETAIL BC-SD-9.
9. INSTALL BOISE PUBLIC WORKS STANDARD 4'X8' TREE GRATE AND FRAME; SEE DETAIL 6/SP501. INSTALL SUSPENDED PAVEMENT SYSTEM PER MANUFACTURER RECOMMENDATIONS.
10. URBAN CONCRETE CCDC STREETScape STANDARD; INSTALL PER DETAIL 14/SP501.
11. URBAN PARKWAY CCDC STREETScape STANDARD; INSTALL PER DETAIL 15/SP501.
12. MODIFIED URBAN PARKWAY STREETScape; INSTALL PER DETAIL 16/SP501.
13. TRASH AREA.
14. LOADING AREA.
15. ADA CONCRETE RAMP WITH TRUNCATED DOMES. SEE CIVIL PLANS
16. CONCRETE VALLEY GUTTER - SEE CIVIL PLANS.
17. STAMPED COLORED CONCRETE FLATWORK. SEE CIVIL SHEET CS 2.0 FOR SECTION REQUIREMENTS. SEE MATERIALS PLAN FOR COLOR SCHEME. REFER TO DETAIL 8/SP501.
18. STANDARD ASPHALT PAVING.
19. STANDARD CONCRETE FLATWORK. 8' SCORE PATTERN. REFER TO DETAIL 11/SP501.
20. TRAFFIC RATED CONCRETE HARDSCAPE. SEE DETAIL 6/CS 2.0. SEE MATERIALS PLAN FOR COLOR SCHEME.
21. N/A.
22. LANDSCAPE AREA, REFER TO LANDSCAPE PLAN L100.
23. EXISTING TRAFFIC SIGNAL - SAVE AND PROTECT.
24. EXISTING STREET LIGHT - SAVE AND PROTECT.
25. EXISTING TRAFFIC SIGN - SAVE AND PROTECT.
26. PAVERS TO MATCH EXISTING PIONEER CORRIDOR SIZE/MATERIAL/COLOR.
27. 36" TALL CMU SCREENING WALL. FINISH TO MATCH SURROUNDING BUILDINGS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION. SEE CROSS-SECTION, THIS SHEET.

SITE LAYOUT NOTES:

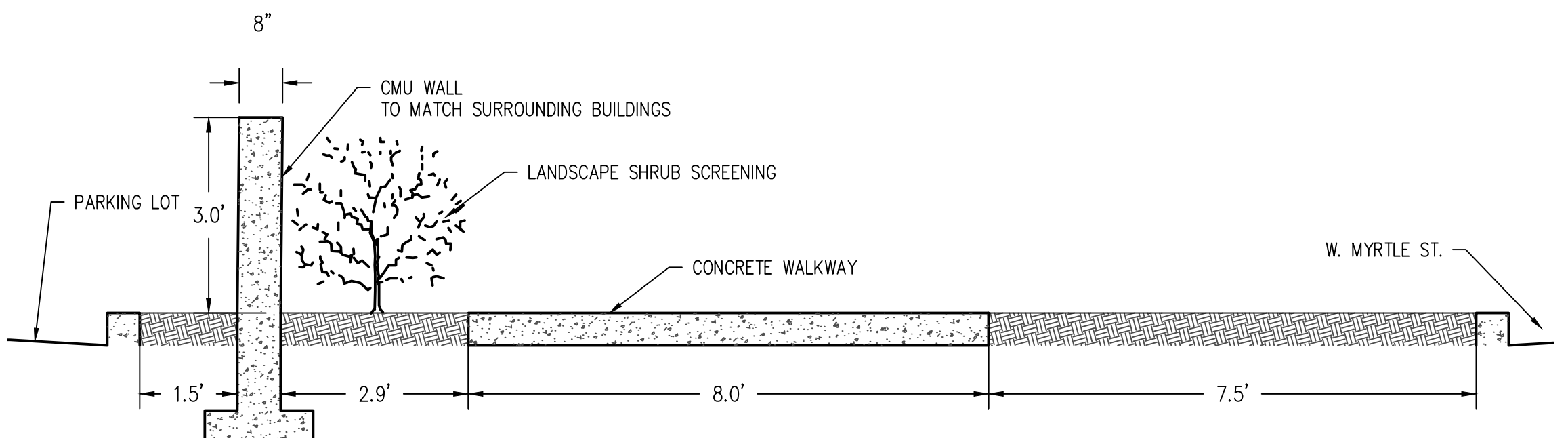
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL, ELECTRICAL, MECHANICAL, UTILITY, GRADING AND DRAINAGE PLAN AND DETAIL SHEETS FOR ALL COORDINATION ITEMS.
2. THE LOCATION OF ALL SITE ELEMENTS HAVE BEEN DETERMINED BY A COORDINATED EFFORT BETWEEN RESPECTIVE AGENCIES, UTILITIES AND VARIOUS REQUIREMENTS. CONTRACTOR SHALL INSTALL ALL COMPONENTS OF THE SITE PER PLAN. SHOULD ANY DISCREPANCIES ARISE, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY.
3. INSTALL EXPANSION JOINT AT ALL LOCATIONS WHERE CONCRETE FLATWORK ABUTS A BUILDING, RETAINING WALL OR PRE-EXISTING CONCRETE SURFACE.
4. PROVIDE SCORE JOINTS IN CONCRETE FLATWORK AS SHOWN PER PLAN. SCORE JOINTS SHALL NOT VARY FROM PLAN.
5. TRANSITION IN GRADES AND SLOPES SHALL BE MADE UNIFORM ON ALL SURFACES EXCEPT AT THE TOP AND BOTTOM OF RAMPS WHERE A HARD GRADE BREAK SHALL BE ESTABLISHED.
6. ALL CURVES ON WALLS AND FLATWORK SHALL BE MADE TANGENT WITH ADJACENT LINE OR CURVE. CONTRACTOR SHALL FORM ALL FLATWORK AND WALLS AND SCHEDULE AN ON SITE MEETING WITH LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING ANY CONCRETE.
7. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT TO LOCATE ALL IN GROUND LIGHTING FIXTURES AND FISH ART PRIOR TO POURING CONCRETE.
8. CONTRACTOR SHALL PROVIDE TEST POUR 100 SF OF EACH COLOR CONCRETE FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLING CONCRETE FLATWORK ON SITE.
9. ANY VEHICULAR TRAFFIC RELATED UTILITY SHALL SAVED AND PROTECTED.
10. ALL DRAINAGE WILL BE ON-SITE RETENTION.

SITE DIMENSIONING NOTES:

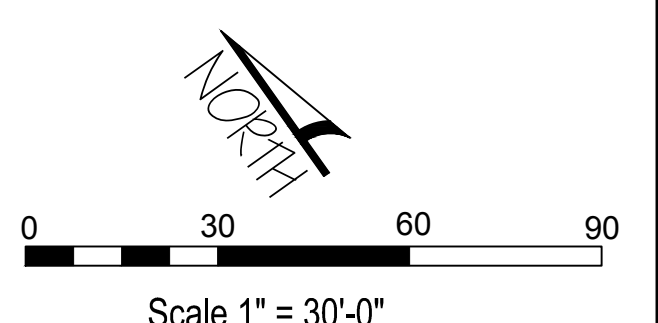
1. REFER TO ARCHITECTURAL PLANS AND BUILDING FOOTPRINT ON SITE, VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE FROM FACE OF BUILDING, FACE OF CONCRETE WALL, FACE OF CURB, EDGE OF CONCRETE, CENTER OF TREE WELL, CENTER OF LIGHT OR CENTER OF BOLLARD.

SITE MATERIAL LEGEND:

- STAMPED CONCRETE FLATWORK IN SG HARVEST MOON INTEGRAL COLOR BY INNOTECH, SEE DETAIL 9/SP501
- BROOM FINISH CONCRETE IN STANDARD GREY FINISH.
- STANDARD ASPHALT PAVING
- STANDARD CONCRETE PAVING

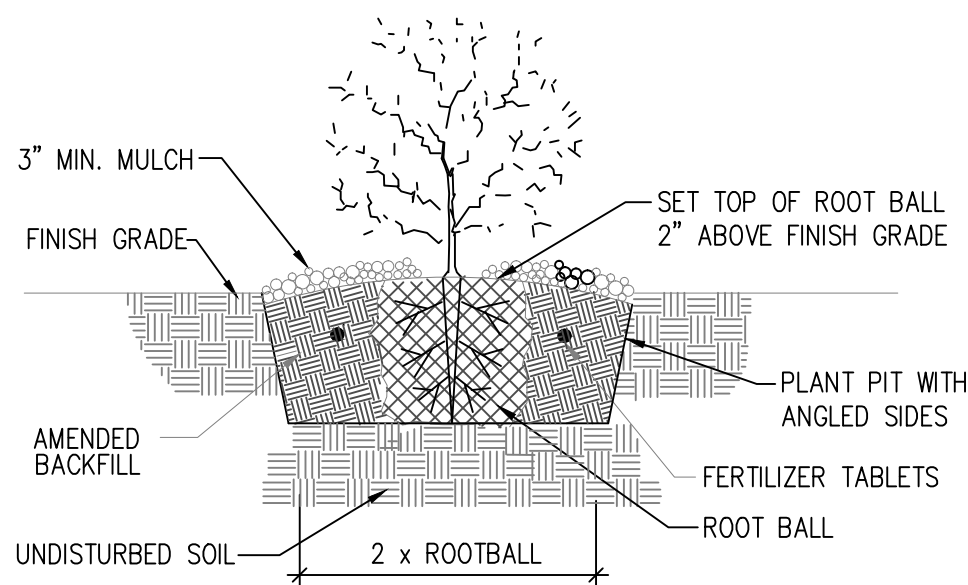


1 Screening Wall Along W. Myrtle St.
 NTS



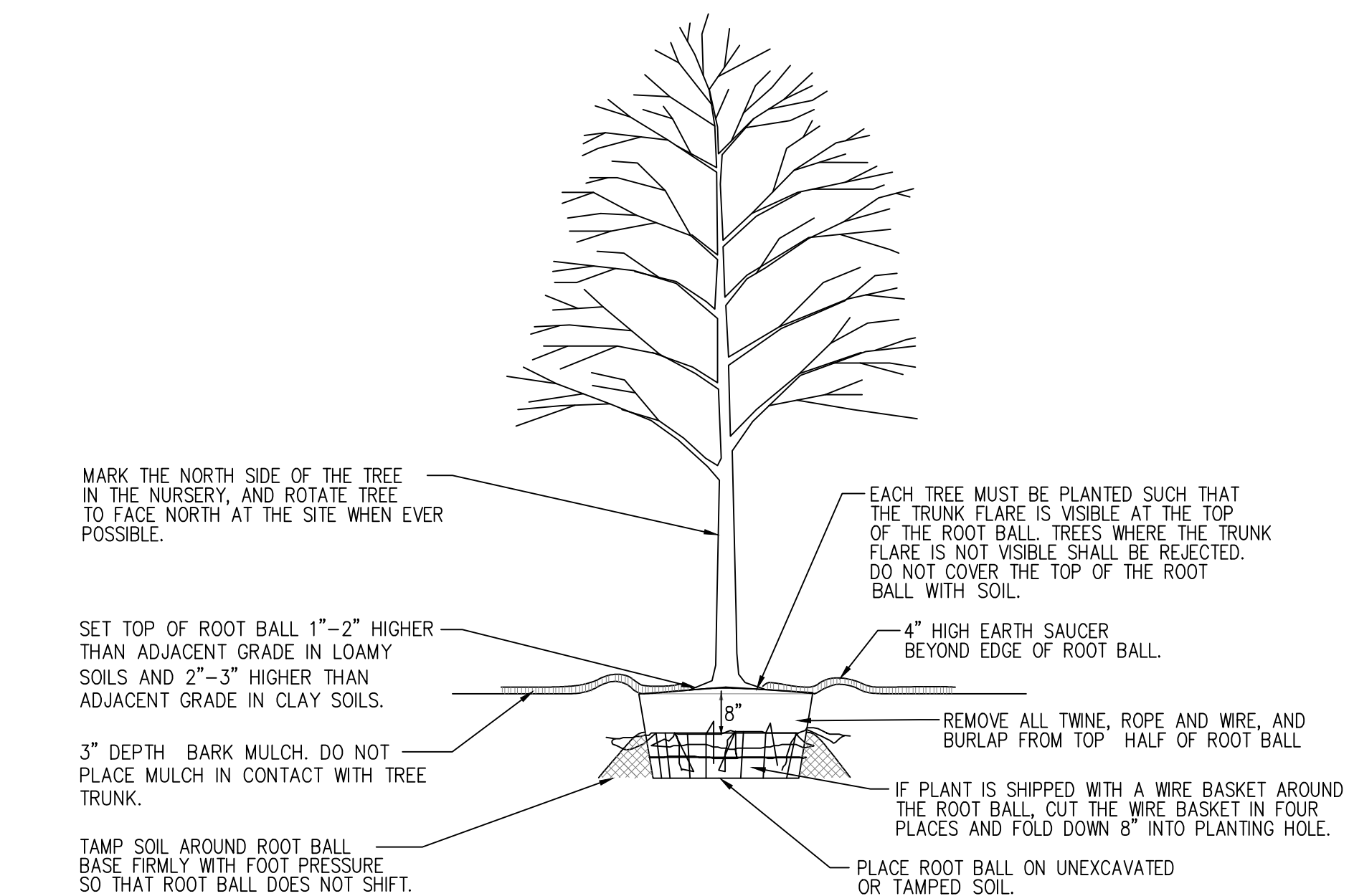
LANDSCAPE NOTES:

- Contractor shall verify all utility locations prior to construction operations.
- An automatic sprinkler system shall be installed for all landscaped areas. The system shall be designed and installed so as to prevent any overspray beyond the borders of the lot, particularly preventing overspray onto buildings, walkways and roads. Irrigation system shall provide 100% coverage.
- All lawn areas shall be irrigated with spray heads as required to fit the site. All shrub beds shall be irrigated with Netafim CV dripline. Install per manufacturers recommendations.
- All street trees shall be irrigated as defined in the CDC Streetscape Standards.
- All lawn areas shall be irrigated separately of shrub and tree areas.
- Contractor shall zone sprinkler areas to best fit micro climates.
- Contractor shall submit an irrigation shop drawing to Landscape Architect for review prior to initiating landscape or irrigation installation.
- Report to Landscape Architect all conditions which prevent the proper execution of this work prior to beginning work.
- Contractor shall stake all trees necessary to prevent blow over. Contractor's discretion. Stakes must be removed within 12 months after planting.
- All plant material shall conform to the American Nurseryman standards.
- All planter beds shall receive a minimum 3" depth of small chunk bark mulch.
- All plant material shall be guaranteed for one year after installation. Contractor shall immediately replace all plant material found dead with the same size and species at no cost to the owner.
- Finish grades are to be smooth with positive drainage. See Grading Plan.
- The top 6" of topsoil in all planter beds and lawn areas are to be amended at a ratio of 3 cu. yds. of organic matter per 1000 sq. ft. Roto-till organic matter 6" into topsoil.
- Fertilize all trees and shrubs with 'Agriform' planting tablets. Follow manufacturer's recommendations.
- Ensure all planter beds have 18" of topsoil, lawn areas shall have a min. 12" of topsoil. Spread, compact and fine grade topsoil smoothly to 3" below surface of walkways and curbs in planter bed areas.
- Clean up any topsoil or other debris on site created from landscape operations and dispose of properly off site.



1 SHRUB PLANTING

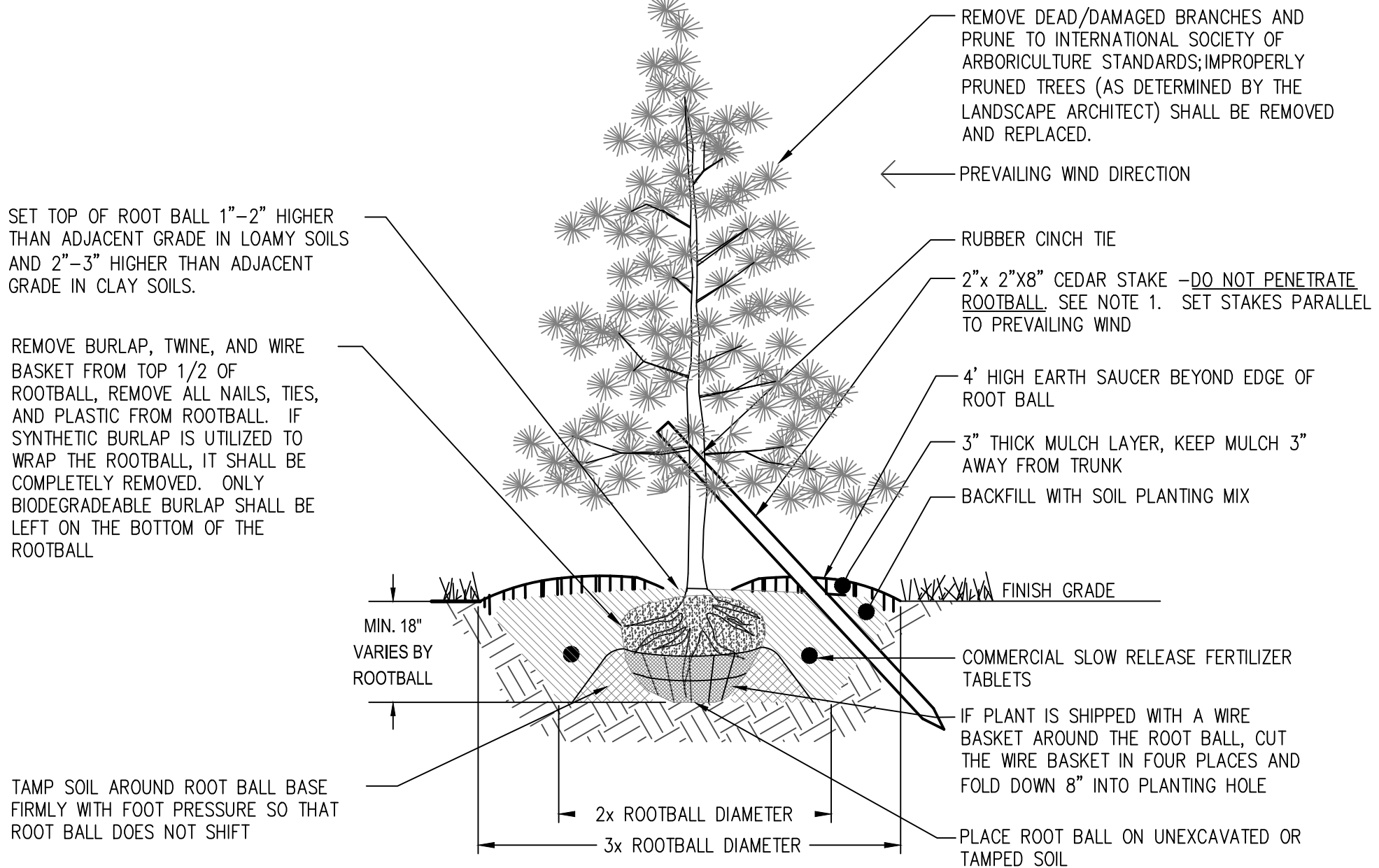
NTS



- NOTE:
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN AND DEAD BRANCHES. DO NOT PRUNE TERMINAL BUDS OF BRANCHES EXTENDING TO THE CROWN.
 - WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
 - STAKE TREES AS NECESSARY. STAKES MUST BE REMOVED WITHIN 12 MONTHS OF PLANTING.

2 DECIDUOUS TREE PLANTING

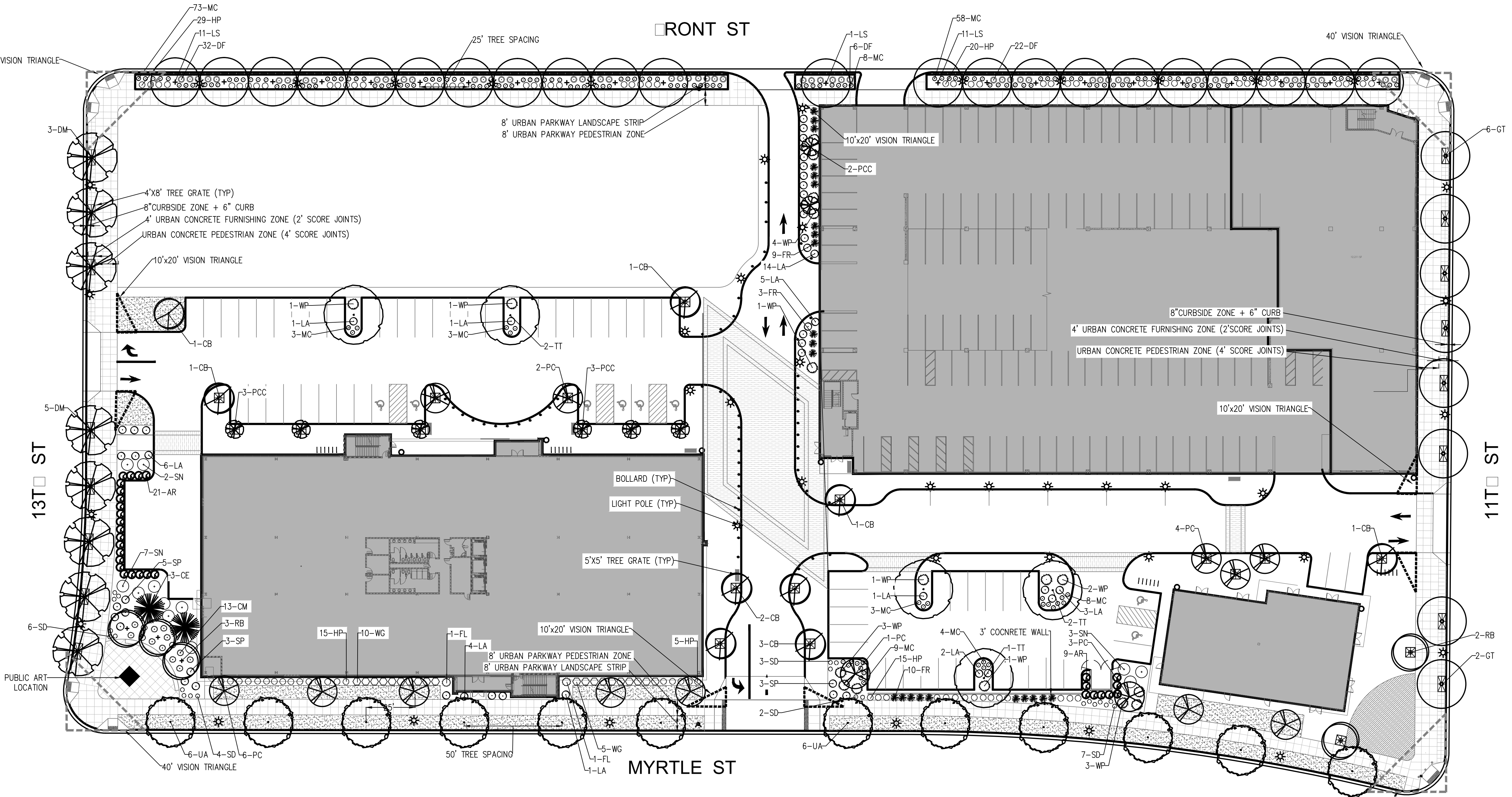
NTS



- NOTES:
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
 - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 - WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
 - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.

3 CONIFER TREE PLANTING AND STAKING DETAIL

NTS



LEGEND	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE H x W	CLASS
ORNAMENTAL / FLOWERING TREES					
RB	<i>Cercis canadensis</i>	Eastern Redbud	2" CAL B&B	30' x 25'	I
PC	<i>Pyrus calleryana 'Glen's Form'</i>	Chanticleer Flowering Pear	2" CAL B&B	40' x 15'	I
PCC	<i>Prunus x cerasifera 'Cripzoizam'</i>	Crimson Pointe Flowering Plum	2" CAL B&B	20' x 6'	I
DECIDUOUS SHADE TREES					
CB	<i>Carpinus betulus 'Fastigiata'</i>	Columnar European Hornbeam	2" CAL B&B	35' x 15'	II
TT	<i>Liriodendron tulipifera 'JFS-Oz'</i>	Emerald City Tulip Tree	2" CAL B&B	55' x 25'	III
GT	<i>Tilia tomentosa 'Green Mountain'</i>	Green Mountain Linden	2" CAL B&B	40' x 25'	II
LS	<i>Liquidamber styraciflua 'Ward'</i>	Cherokee Sweetgum	2" CAL B&B	45' x 30'	II
DM	<i>Acer platanoides 'Deborah'</i>	Deborah Maple	2" CAL B&B	40' x 30'	II
UA	<i>Fraxus pennsylvanica 'Urbanite'</i>	Urbanite Ash	2" CAL B&B	50' x 40'	II
CONIFEROUS TREES					
CE	<i>Cedrus deodar 'Karl Fuchs'</i>	Karl Fuchs Himalayan Cedar	8-10" B&B	15' x 12'	
SHRUBS, PERENNIALS & GROUNDCOVERS					
AR	<i>Thuja plicata 'Daniellow'</i>	Golden Feather Arborvitae	5 GALLON	20' x 4'	
HP	<i>Berberis thunbergii 'Helmond Pillar'</i>	Helmond Pillar Barberry	2 GALLON	4' x 2'	
FR	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	1 GALLON	4' x 2'	
MC	<i>Geranium sanguineum 'Max Frei'</i>	Max Frei Cranesbill	1 GALLON	1.5' x 2'	
SD	<i>Chrysanthemum x superbum 'Becky'</i>	Becky Shasta Daisy	1 GALLON	1.5' x 2'	
SN	<i>Physocarpus opulifolius 'Seaward'</i>	Summer Wine Ninebark	5 GALLON	5' x 5'	
LA	<i>Lavandula angustifolia 'Hidcote Blue'</i>	Hidcote Blue English Lavender	1 GALLON	2' x 3'	
SP	<i>Spirea japonica 'Yan'</i>	Double Play Gold Spirea	1 GALLON	2' x 3'	
DF	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	1 GALLON	2' x 2'	
WP	<i>Pinus strobus 'Blue Shag'</i>	Blue Shag Easter White Pine	5 GALLON	4' x 5'	
FL	<i>Rhamnus frangula 'Ron Williams'</i>	Fine Line Fern Leaf Buckthorn	5 GALLON	8' x 3'	



BAER DESIGN GROUP, LLC
 539 S. Fitness Place, Ste 120
 Eagle, ID 83616
 Ph. 208.938.7721

Boise, ID

Parcel 'B'

Landscape Plan

Revisions

Project No:	15038
Drawn by:	TB
Checked by:	GB
Date:	5.10.16

Sheet No:

L100



Interior Site Bench



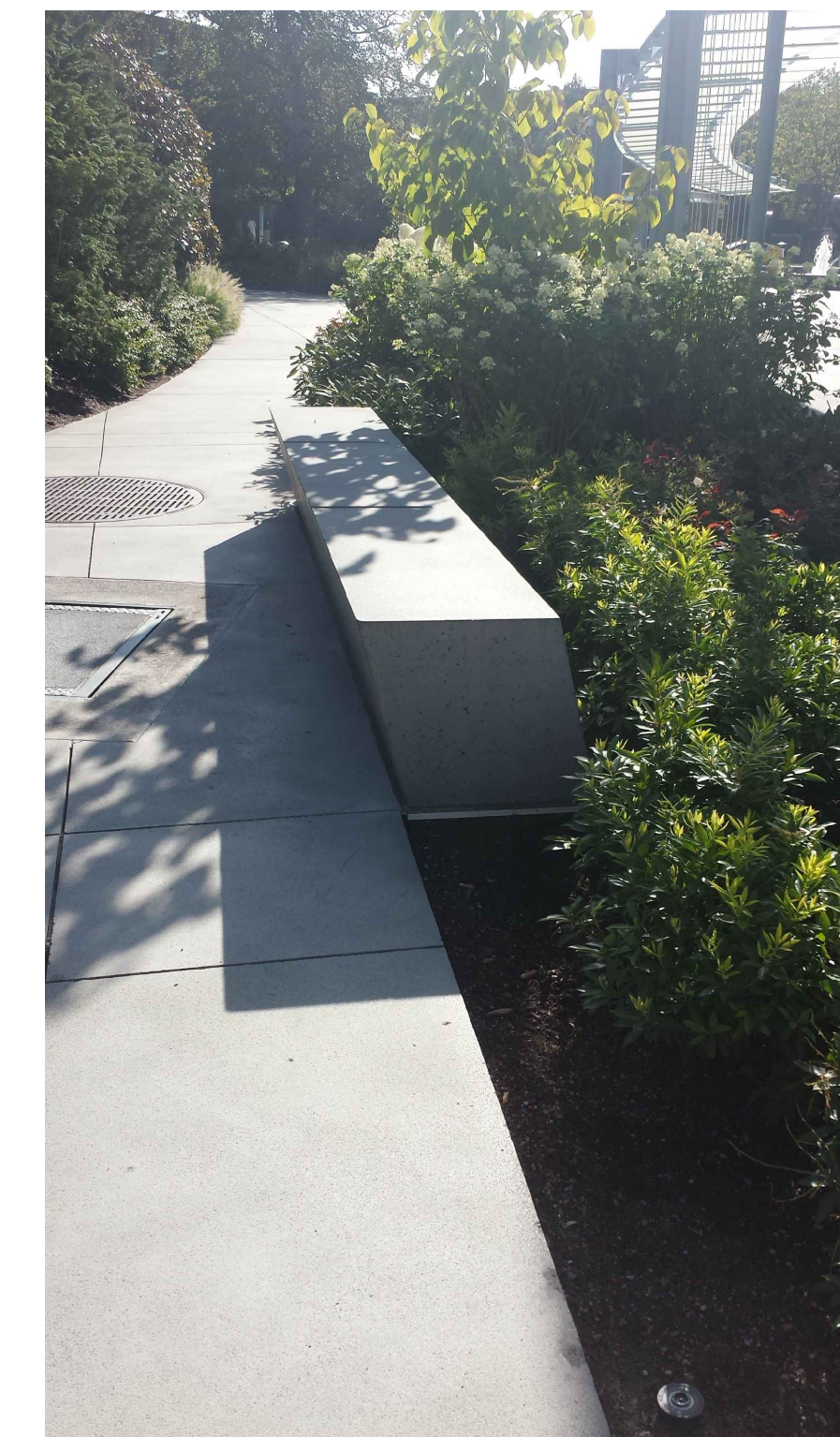
Pioneer Corridor Bench



2 Trash Receptacle



3 Bicycle Rack



4 Concrete Seat Wall



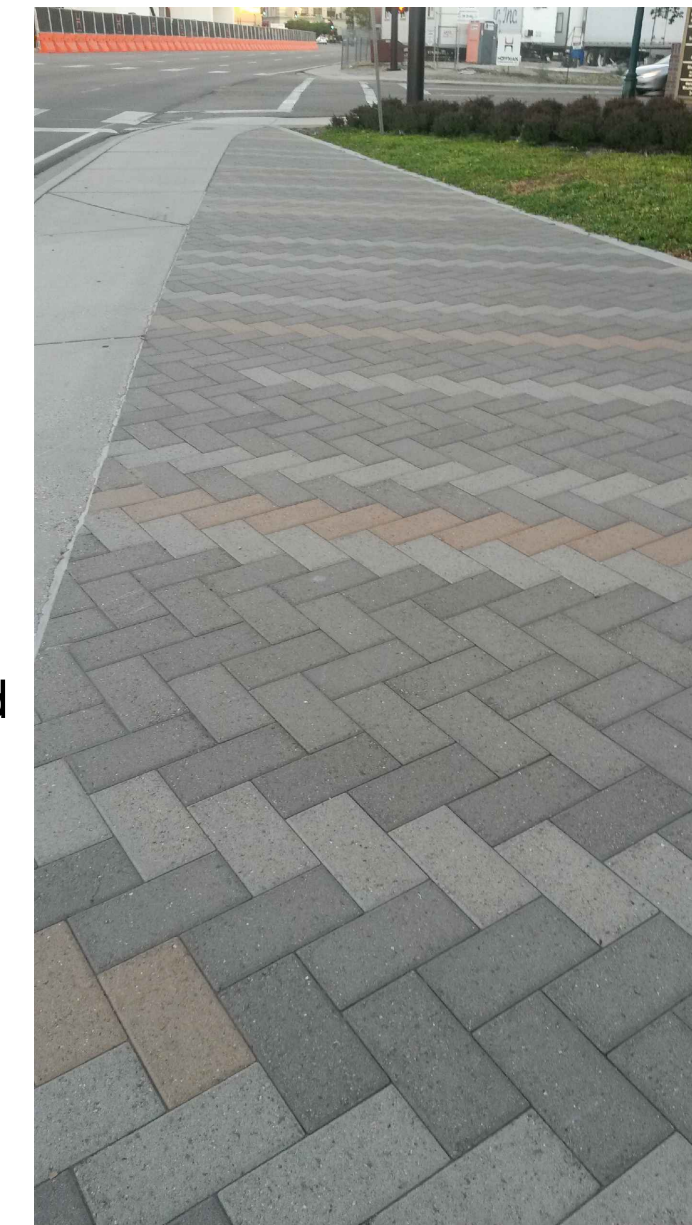
5 4'X4' Tree Grate



6 4'X8' Tree Grate (Boise Public Works Standard)



7 Colored Concrete Flatwork - Harvest Gold



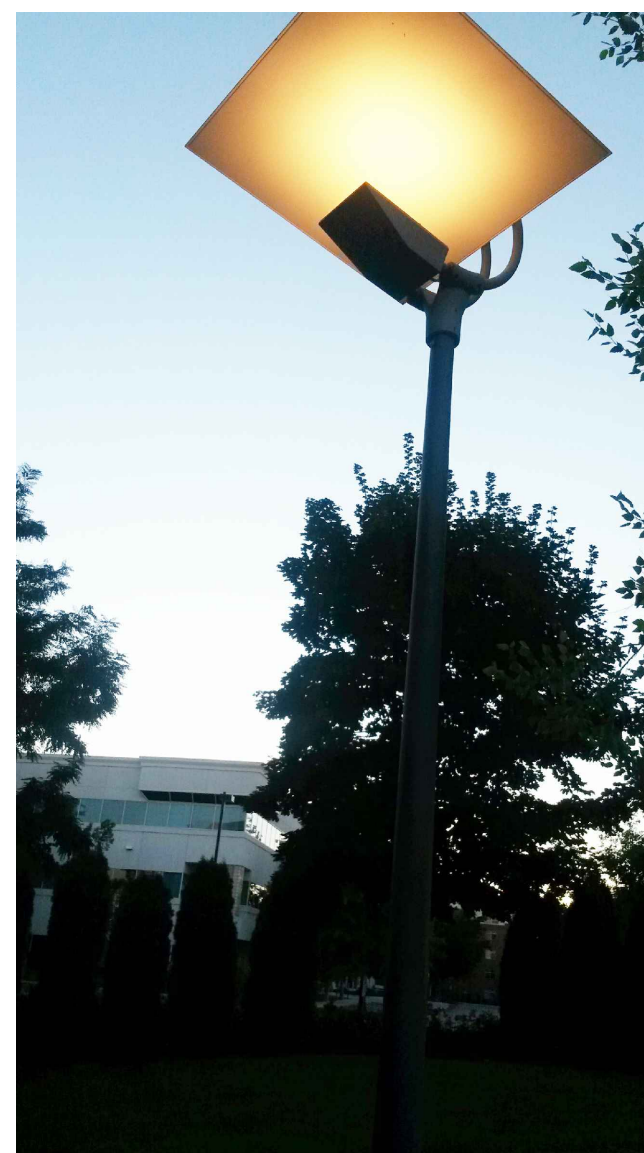
8 Pioneer Corridor Paving



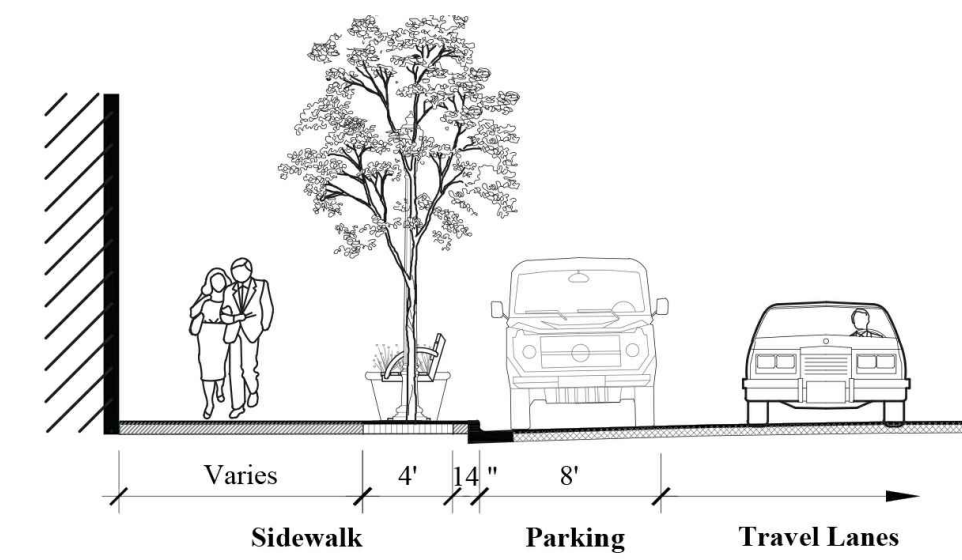
9 Bollard



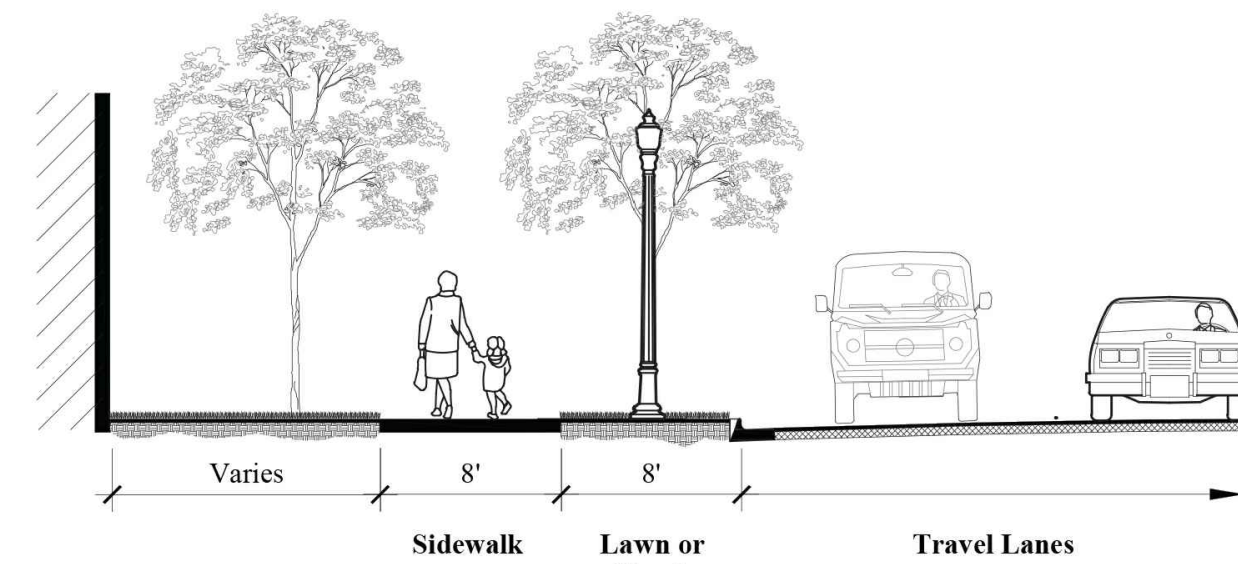
Site Light Post



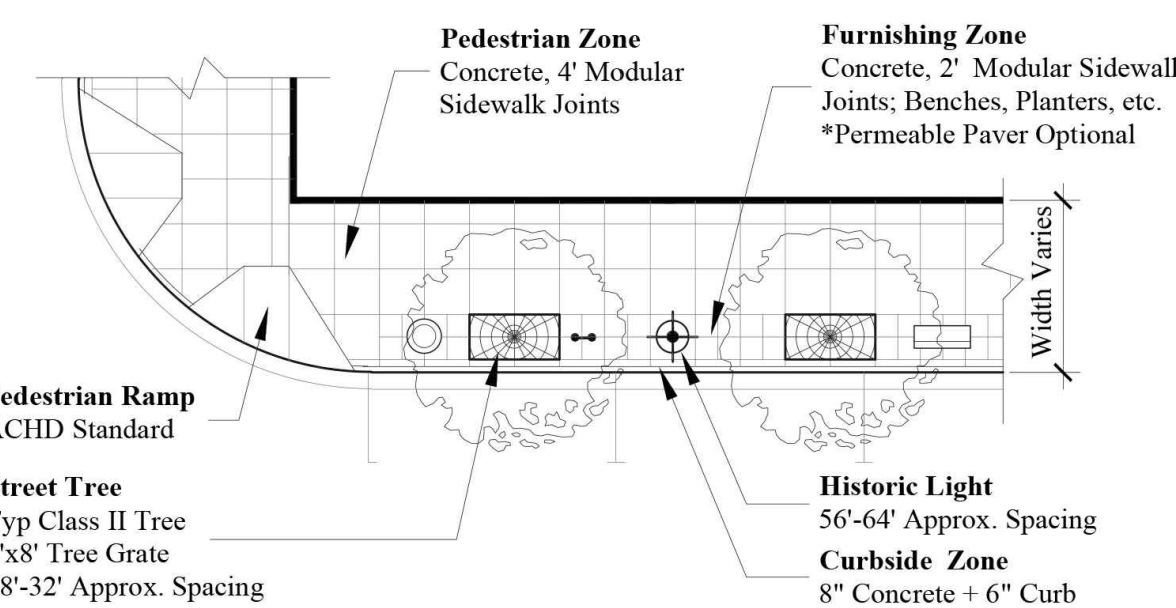
Pioneer Corridor Light Post



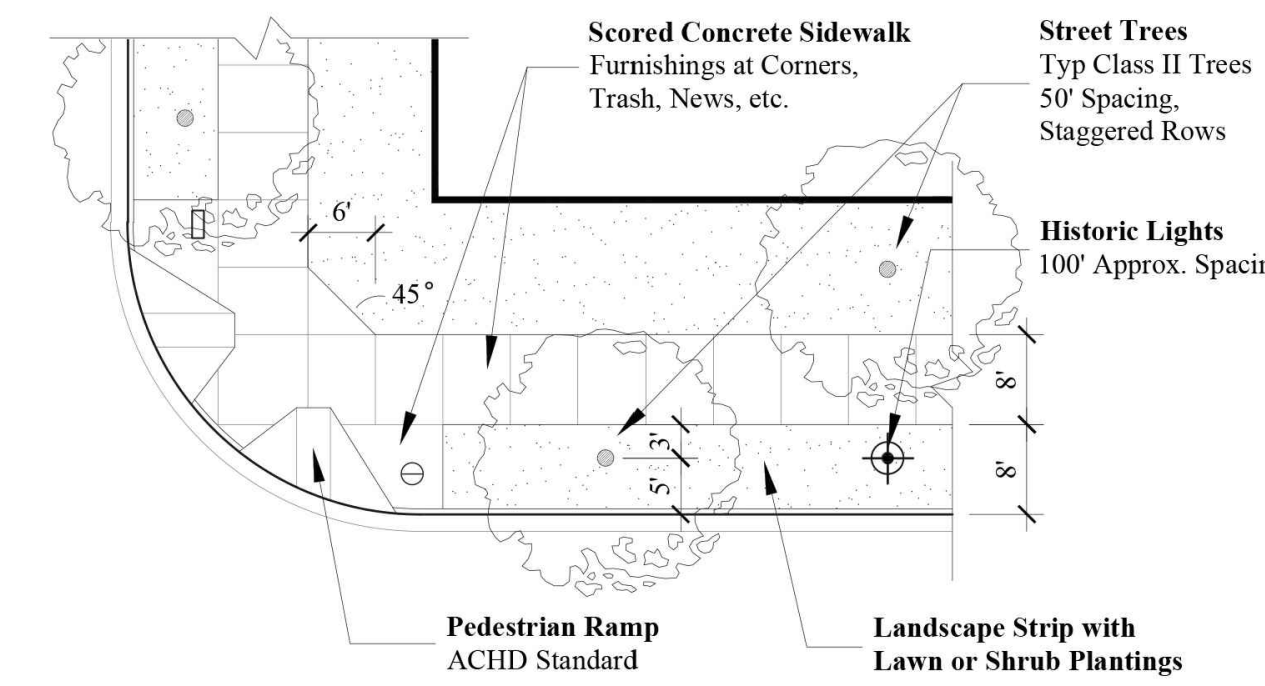
URBAN STREETScape SECTION NOT TO SCALE



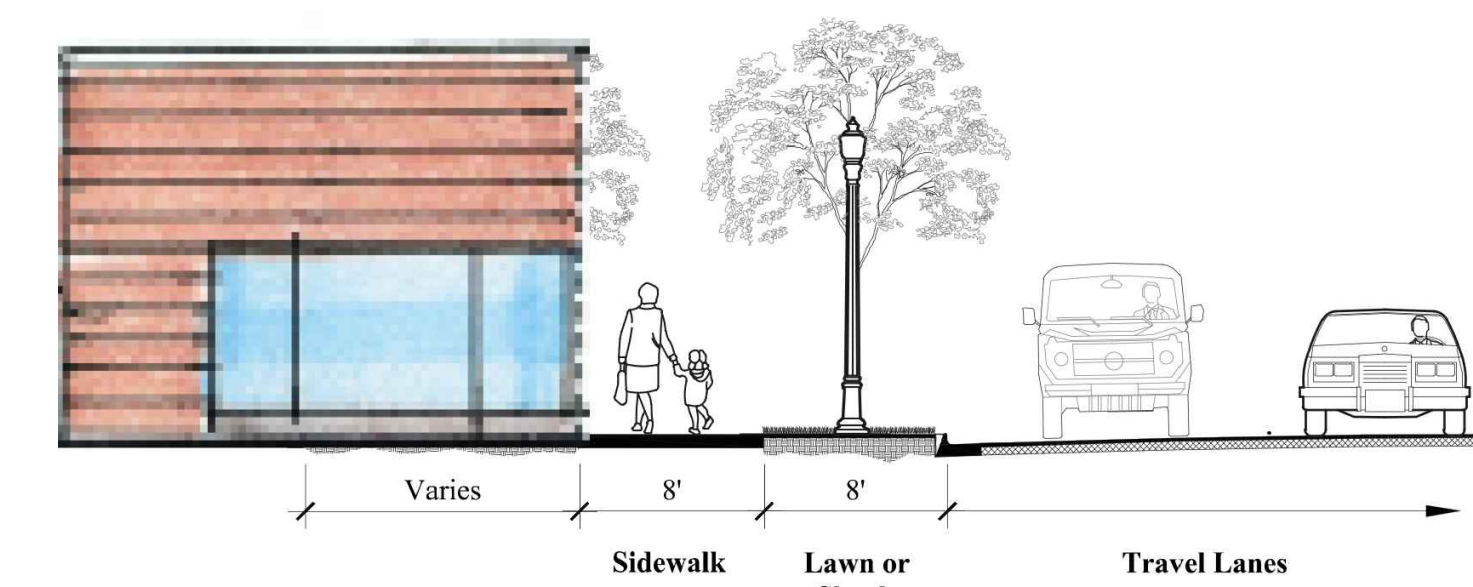
URBAN PARKWAY STREETScape SECTION NOT TO SCALE



URBAN CONCRETE STREETScape DETAIL PLAN SCALE 1"=20"



URBAN PARKWAY STREETScape DETAIL PLAN SCALE 1"=20"



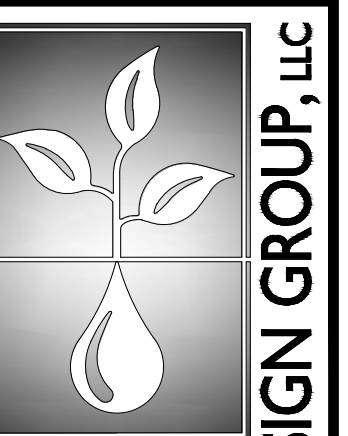
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10 Light Post

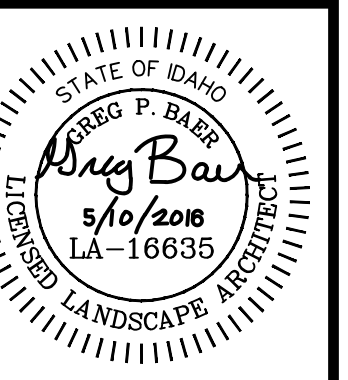
11 Urban Concrete CCDc Streetscape Standard

12 Urban Parkway CCDc Streetscape Standard

13 Modified Urban Parkway Streetscape



BAER DESIGN GROUP, LLC
539 S. Fitness Place, Ste 120
Eagle, ID 83616
Ph. 208.938.7721



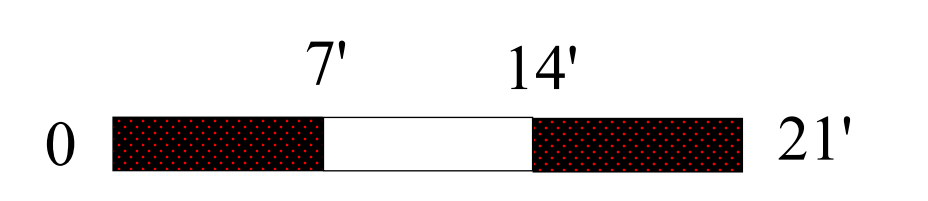
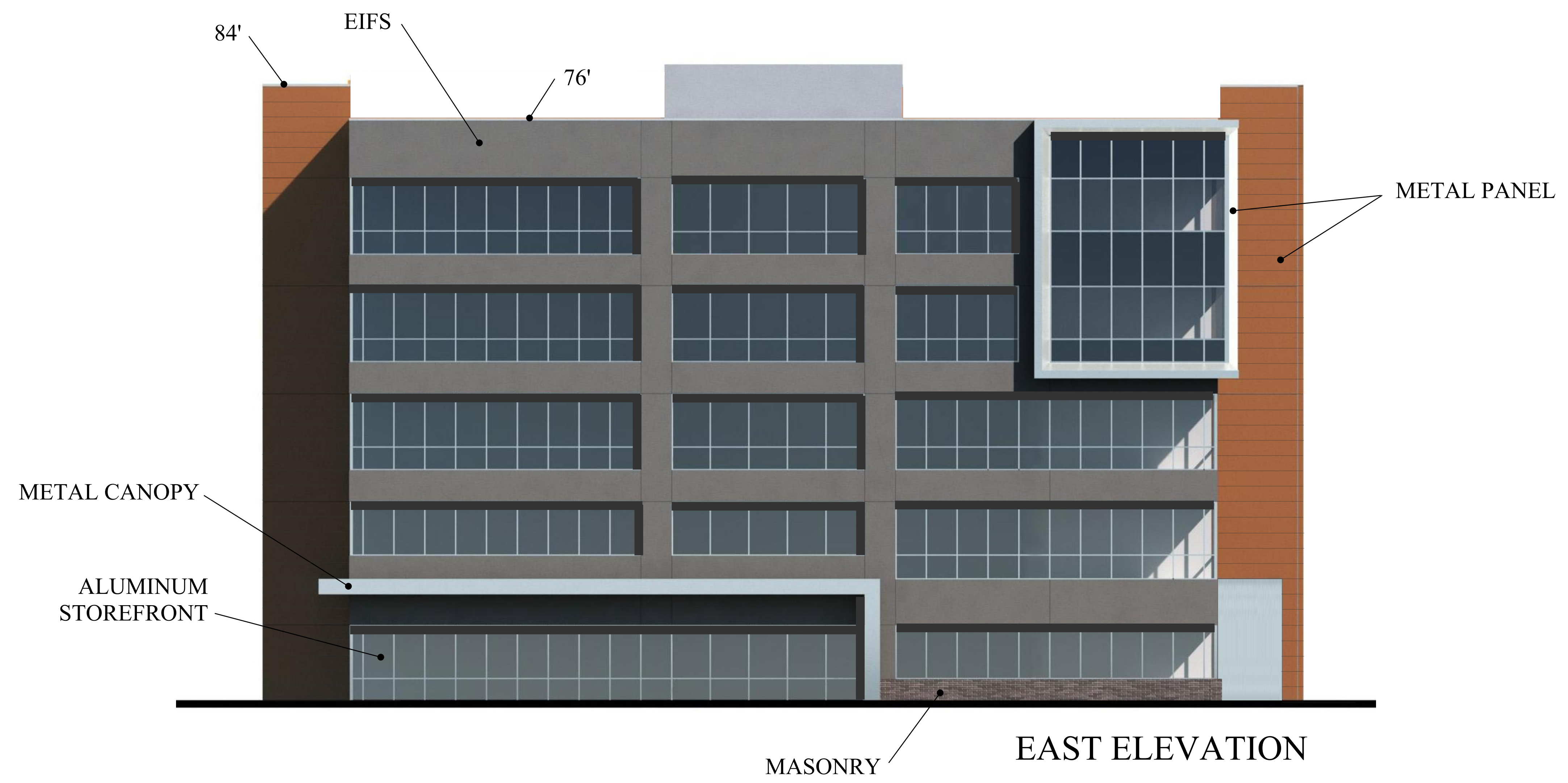
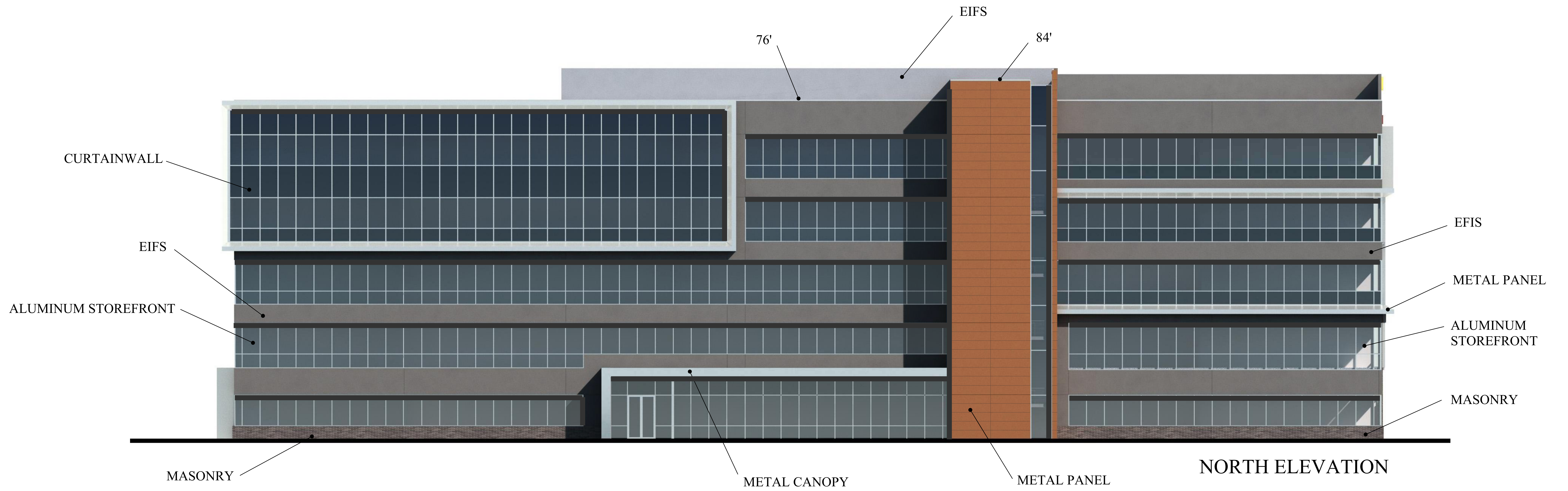
Boise, ID

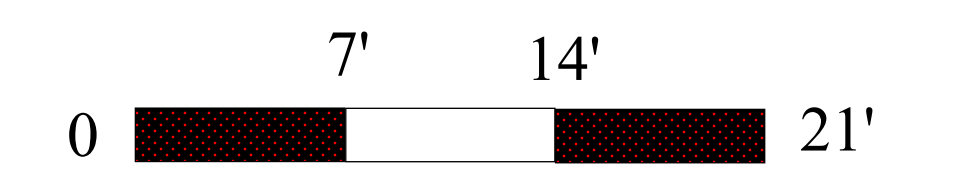
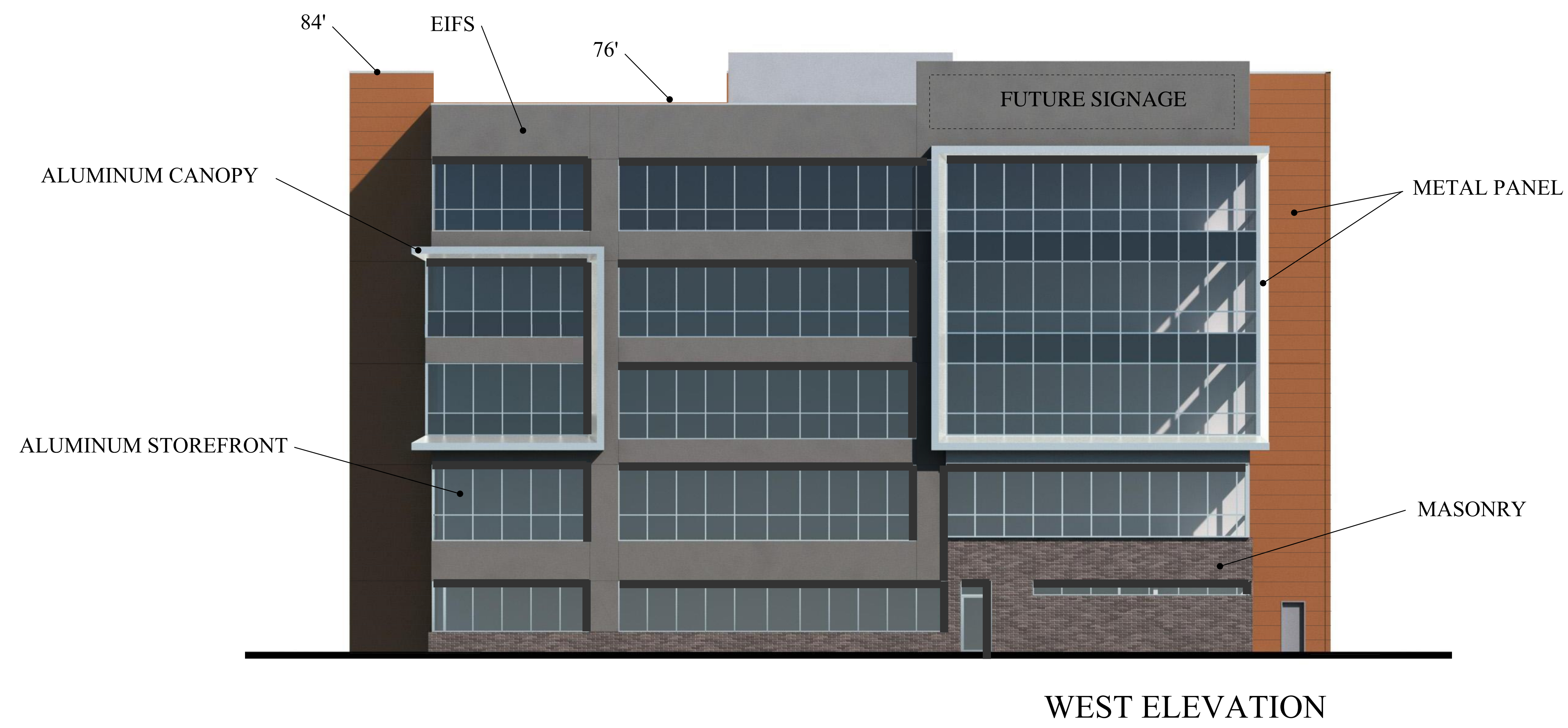
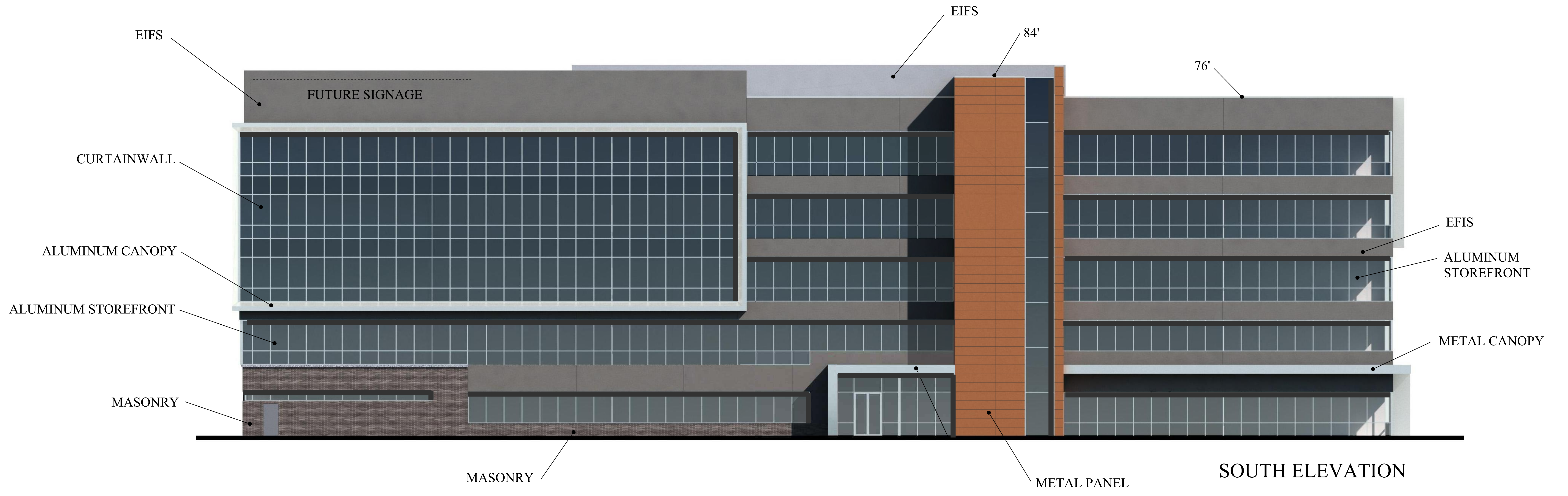
Parcel 'B'

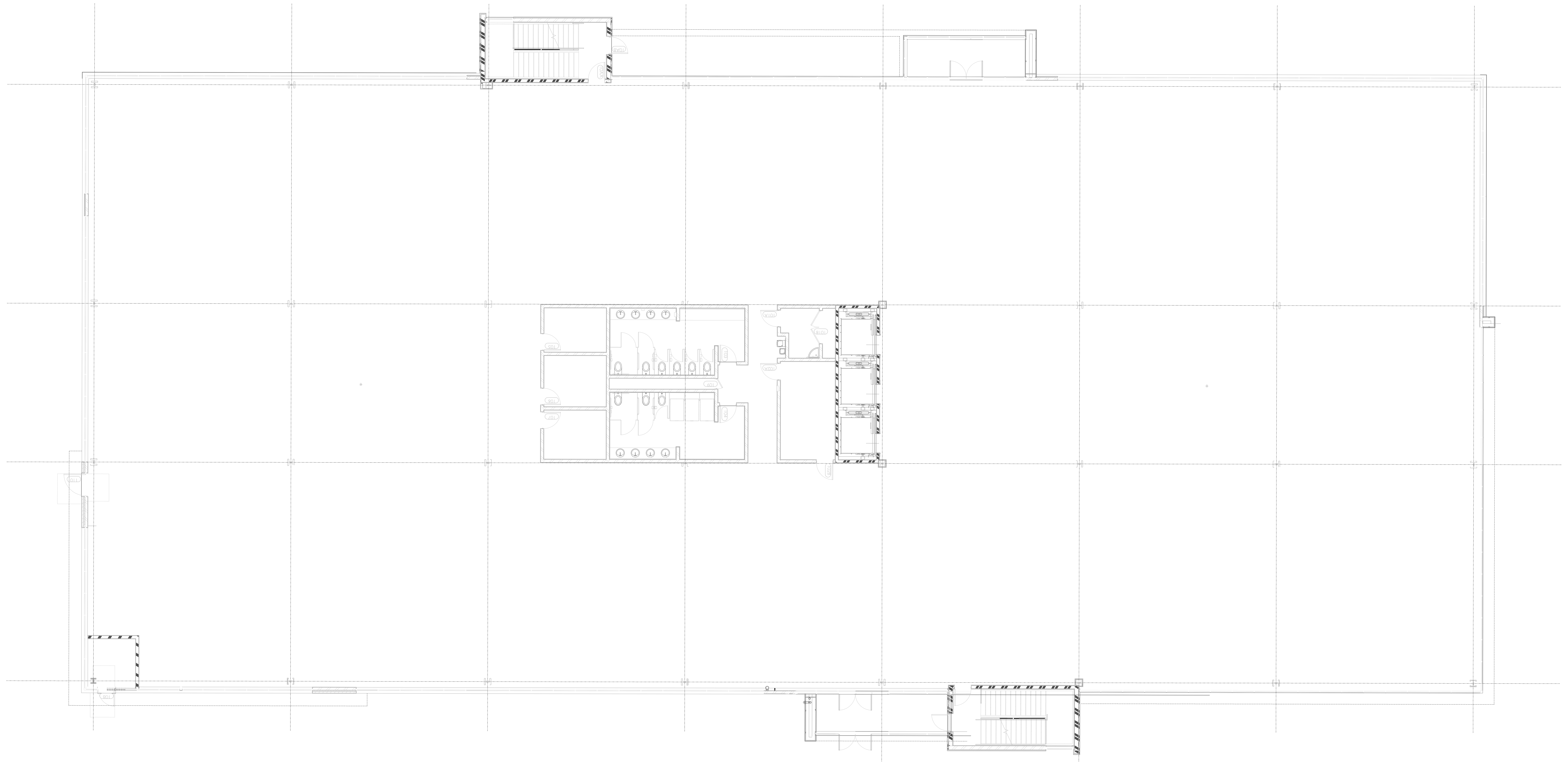
Site Details

Project No.:	15038
Drawn by:	TE
Checked by:	GB
Date:	5.10.2016
Sheet No.:	

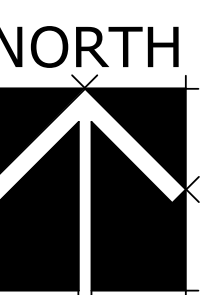
SP501

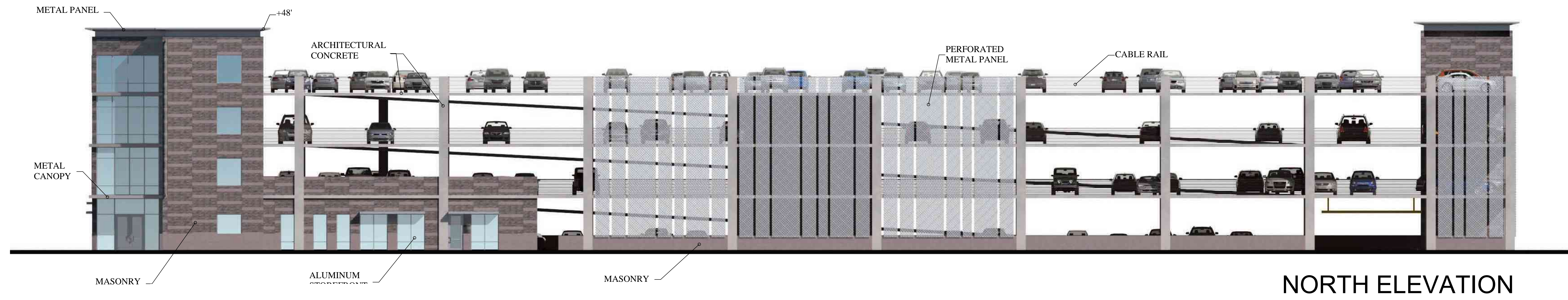




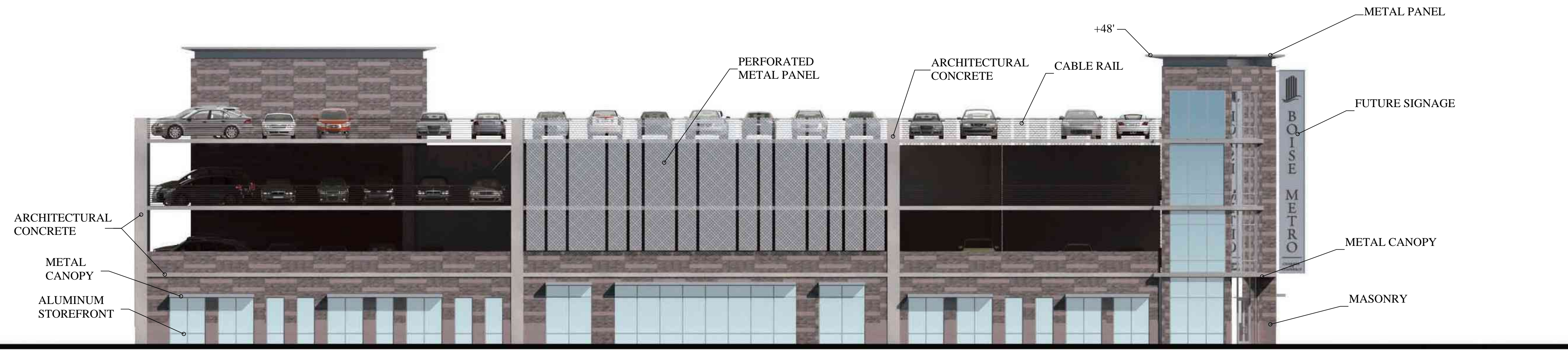


OFFICE: 29,084 SF X 5 = 145,420 SF

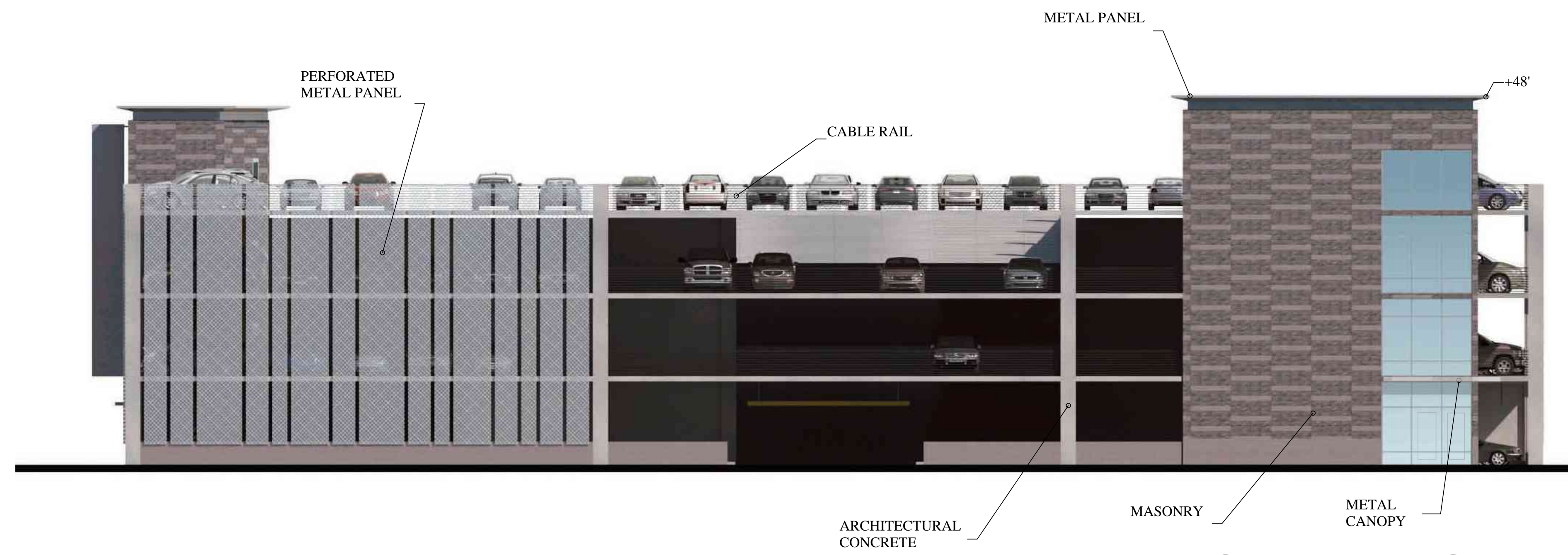




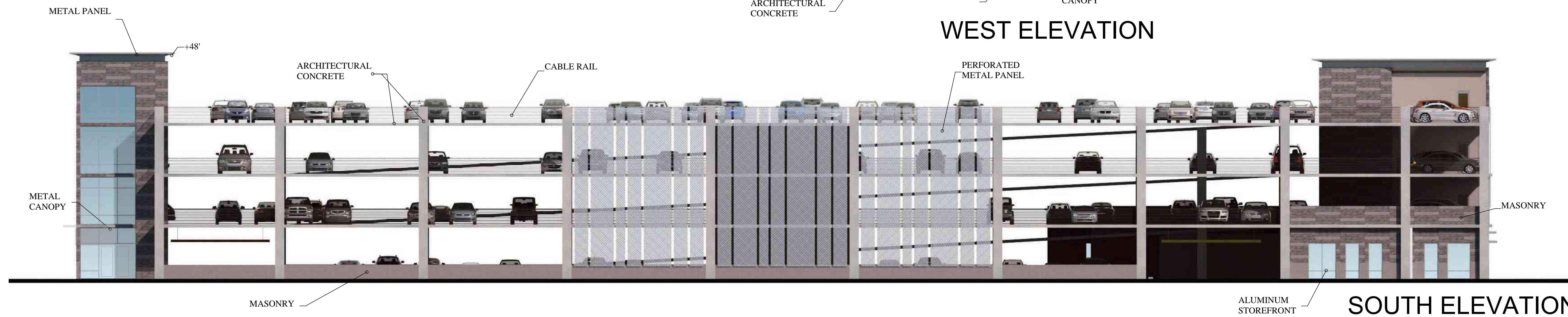
NORTH ELEVATION



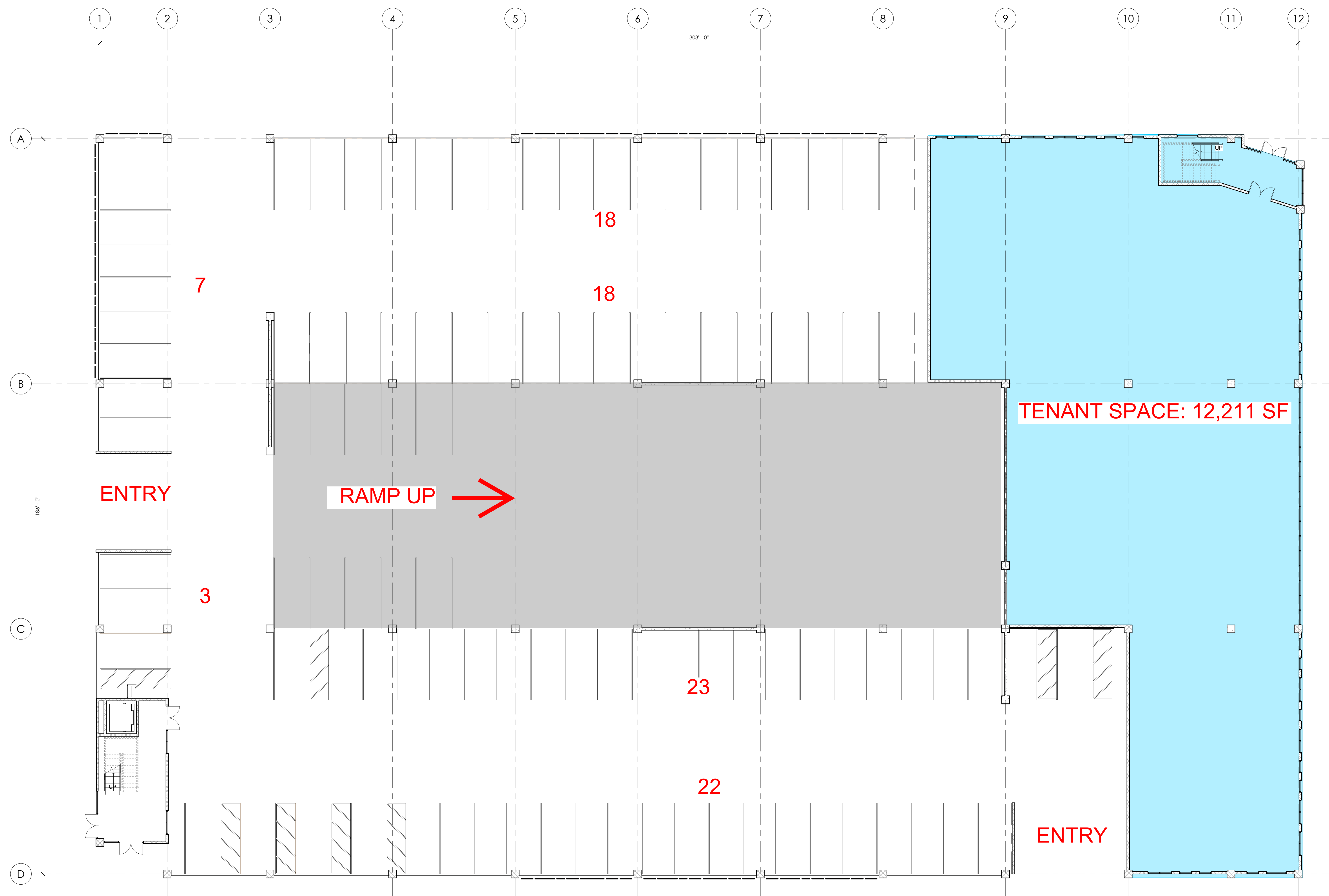
EAST ELEVATION



WEST ELEVATION

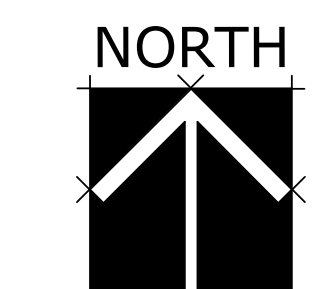


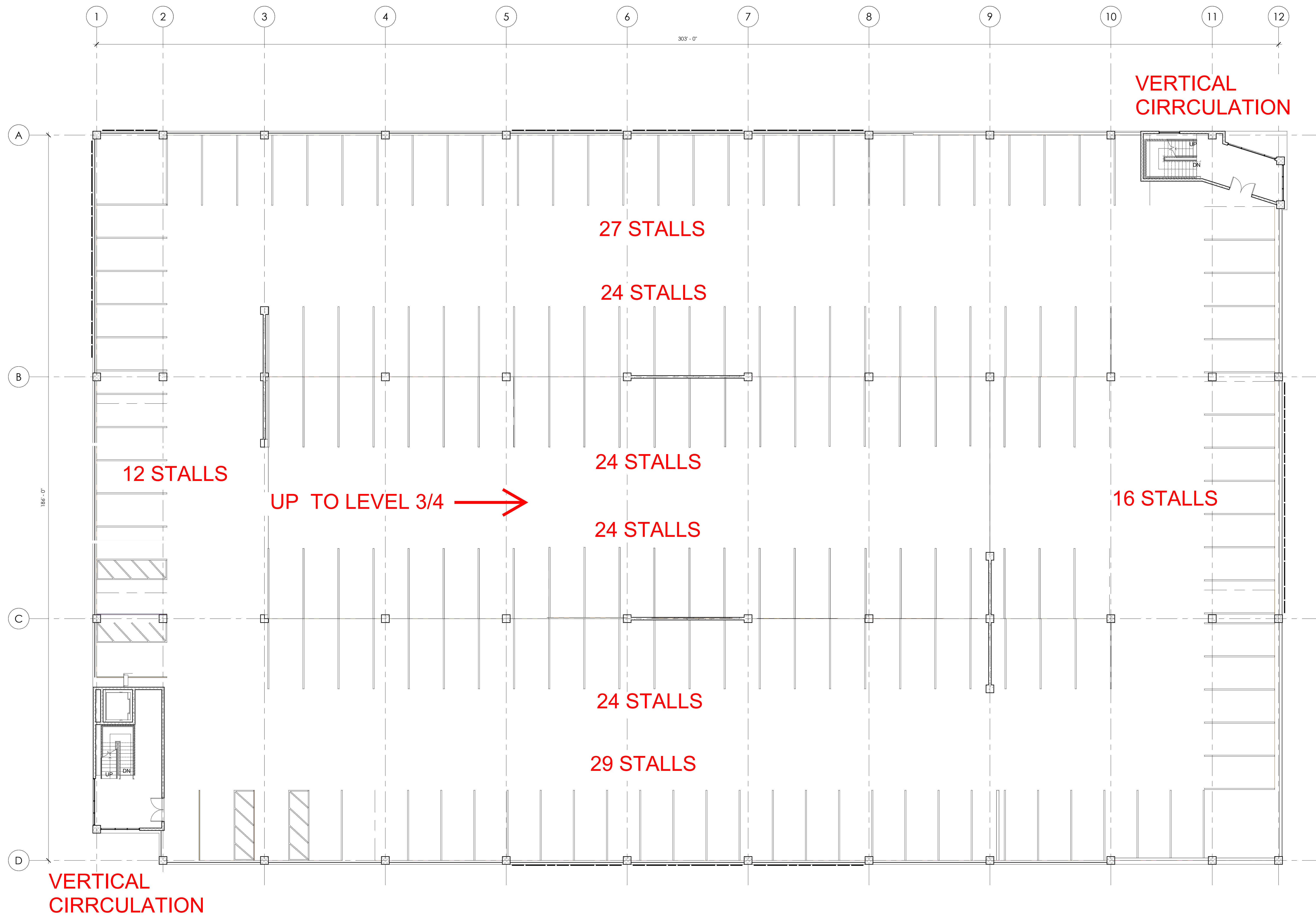
SOUTH ELEVATION



TOTAL PARKING: 645

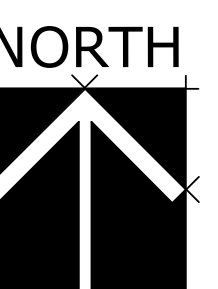
LEVEL 1 PARKING STALLS: 91

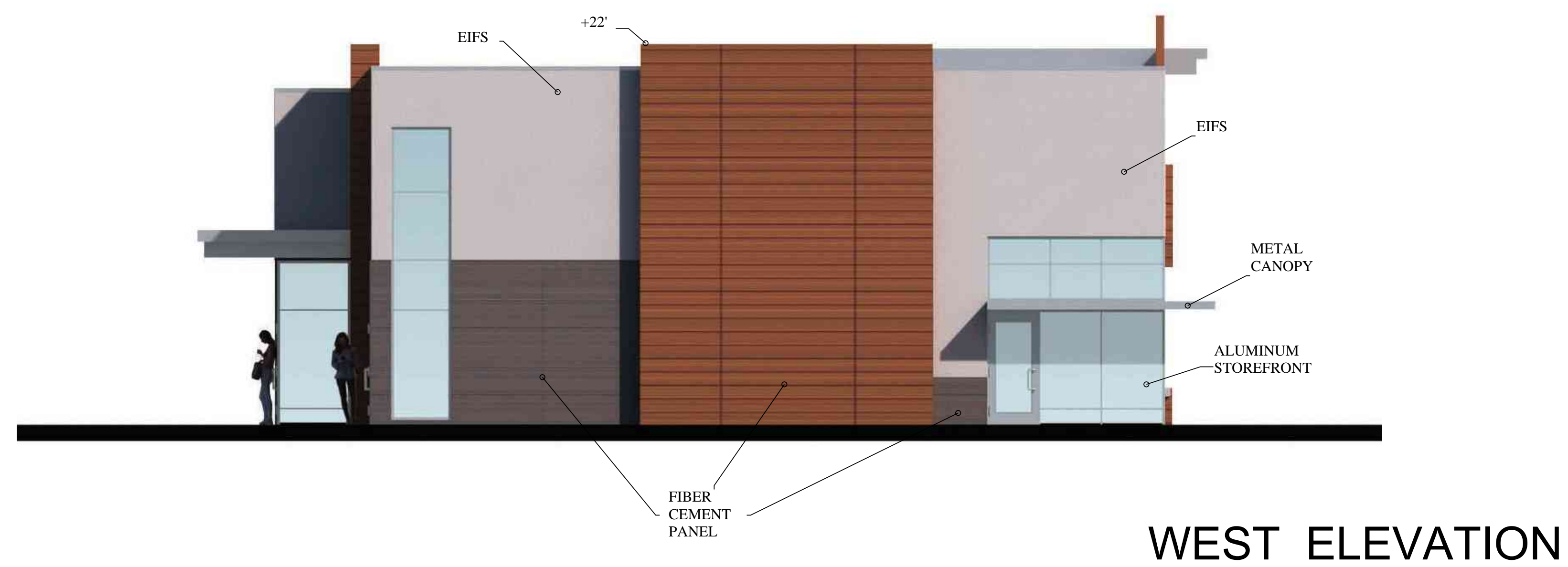
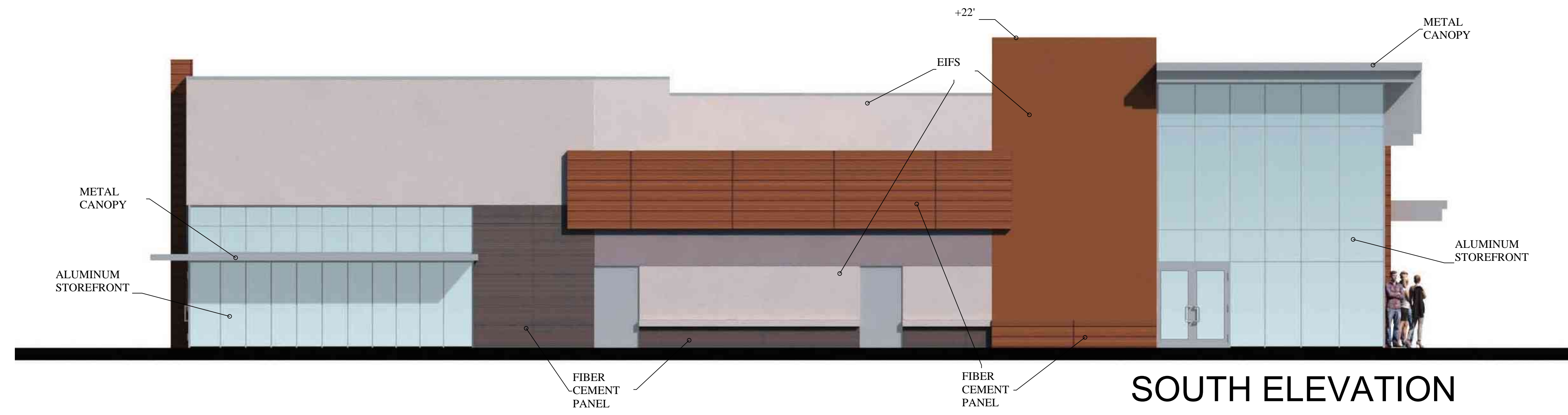


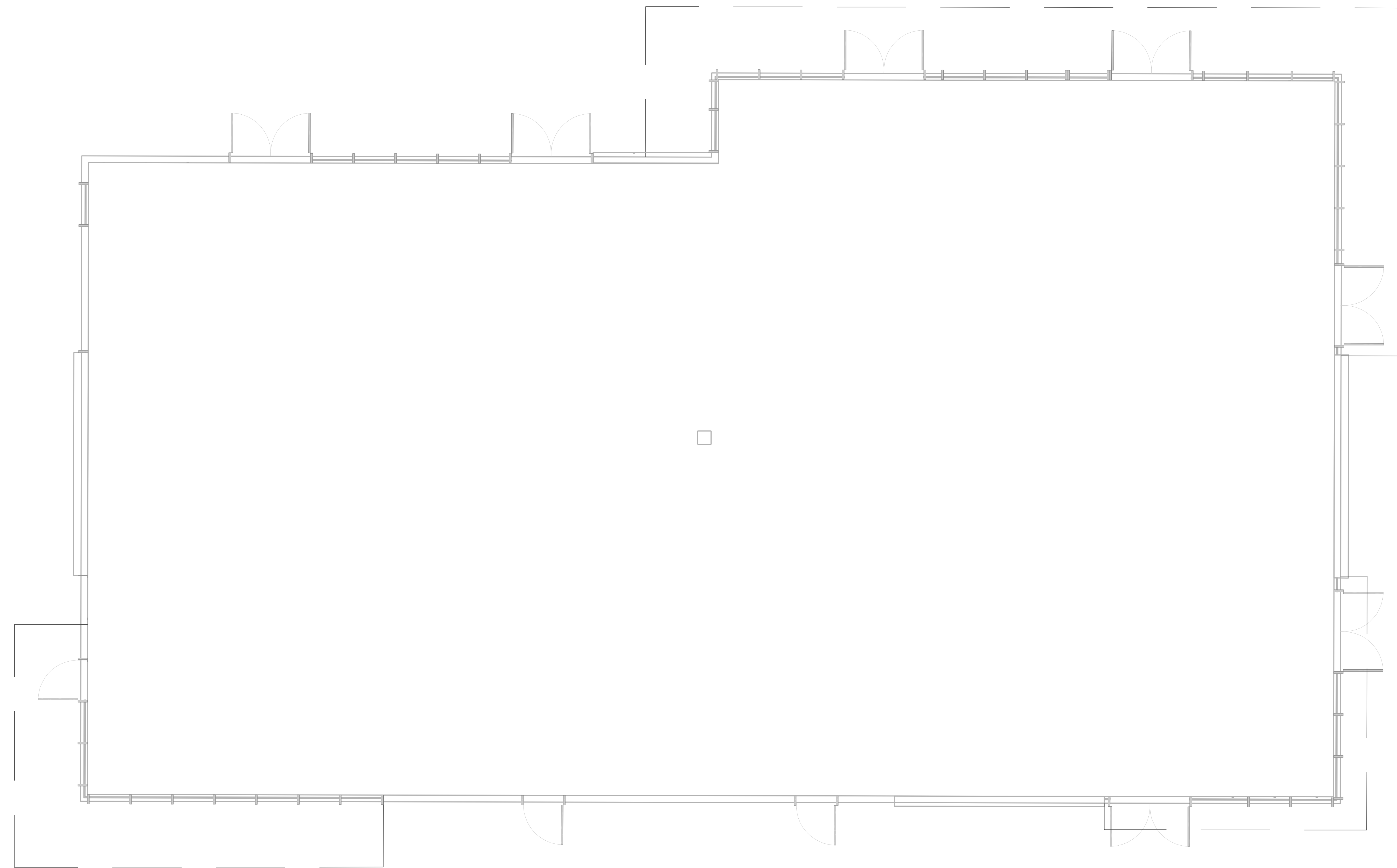


TOTAL PARKING: 645

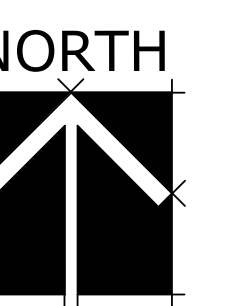
LEVEL 2 PARKING STALLS: 180
 LEVEL 3-4 PARKING STALLS: 187 EACH







RETAIL 4,925 SF





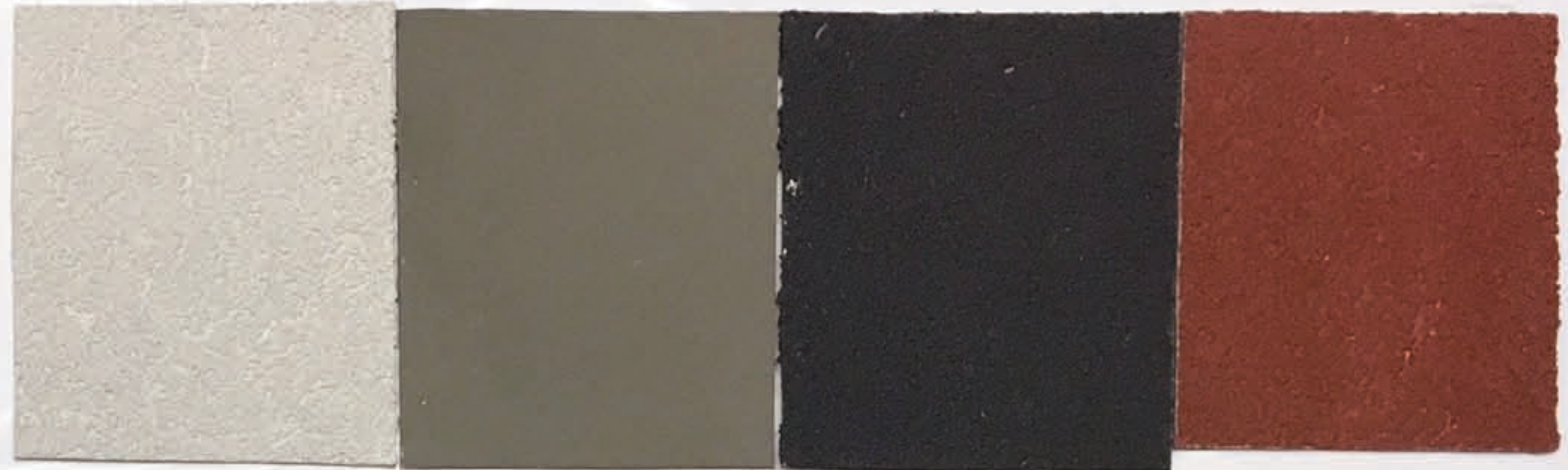
PARKING VIEW FROM FRONT & 11TH STREET



OFFICE VIEW FROM MYRTLE & 13TH STREET



GLAZING



EIFS 1

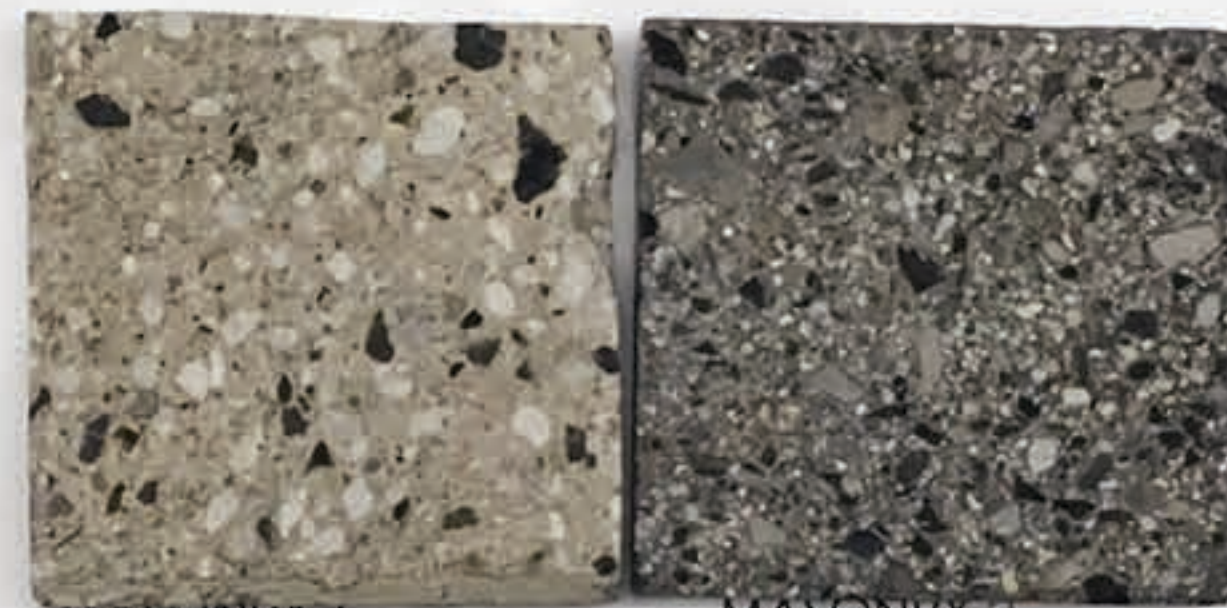
EIFS 2

EIFS 3

EIFS 4



FIBER CEMENT BOARD PANEL



MASONRY 1

MASONRY 2

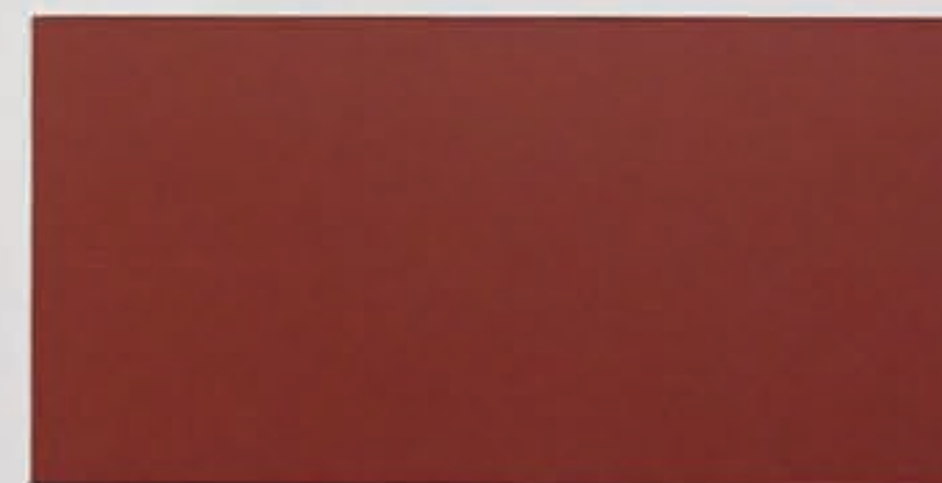


ARCHITECTURAL CONCRETE



METAL 1

METAL 2



METAL 3

PERFORATED METAL PANEL